Sevierville, Tennessee Zoning Ordinance

2.4.4 High Density Residential - HDR

PURPOSE

It is the intent of this district to provide areas for high density residential development plus open areas where similar development is likely to occur. Professional services are permitted in the district provided that they meet applicable standards, are limited so as not to encourage general business activity, and are located on a major arterial or collector street as noted on the zoning map.

AREA, YARD, AND HEIGHT REQUIREMENTS (ARTICLE VIII)

	Single Family Detached	Duplex	Multiple- Family					
Minimum lot area (sf)	7,000	14,000	?					
Minimum lot width (ft)	40	40	40					
Minimum floor area per dwelling unit (sf)	n/a	n/a	n/a					
Maximum building coverage (% of lot area)	n/a	n/a	n/a					
Maximum gross unit density(ac)	6.2	21	21					
Maximum height (ft)	35	35	35					
Minimum front yard setback (ft)	30	30	30					
Minimum side yard setback (ft)	8 per story	8 per story	8 per story					
Minimum rear yard setback (ft)	25	25	25					
District Land Uses		See Section 3	}					
Development Standards	See Section 4							
Parking Standards		See Section 5)					



TYPICAL LOT PATTERN

TYPICAL BUILDING TYPE



NOTES: (sf = square feet, ft = feet) Site plan review or PUD Plan review is required for multi-family according to Sections 8.3, 10.1 Appendix, and 8.4 where applicable.

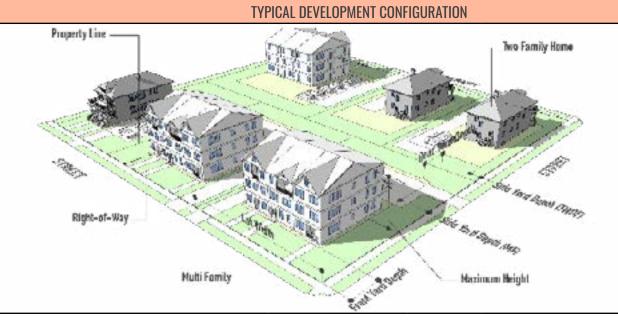


TABLE 3.1 USES PERMITTED BY DISTR	ICT													
■ Permitted □ Permitted on Revie ◆ Special Exception - Not Permitted														
	AR A-R	LDR R-1	MDR R-2	HDR R-3	TC	NC C-2	IC C-3	AC C-4	IN M-1	HRO	TCL C-5	VA V-1	MPD	
Agriculture														
Agriculture Tourism Activity														
Customary General Farming														
Winery														
Residential														
Boarding and Rooming Houses														
Live/Work Unit														
Mobile Home Park														
Multifamily														
Single Family					•									
Two Family						•								
Upper Floor Housing														
Institutional		1												
Community & Civic Association Uses						•								
Government														
Hospital						•								
Library														
Medical Clinics (Specified)														
Museum or Art Gallery														
Nursing Home														
Park, Public														
Religious Assembly						•								
School														
Industrial Any industry which does not														
cause injurious or obnoxious noise, fire hazards or other objec- tionable conditions														
Large Distillery														
Mining/Extraction Lodging									۲					
Bed and Breakfast Homestay														
Bed and Breakfast Inn														

DEFINI- ADI

TABLE 3.1 USES PERMITTED BY DISTRI	CT													
Permitted					_								_	
Permitted on Review	/													
Special Exception	-													
- Not Permitted	1.5							 		TO				
	AR A-R	LDR R-1	MDR R-2	HDR R-3	TC	NC C-2	IC C-3	IN M-1	HRO	TCL C-5	VA V-1	MPD		
Hotel, Motel - With Amusement				N U		02					•			
Hotel, Motel - Without Amusement														
Recreational Vehicle Park/Travel Trailer Park														
Recreational Vehicle Parking for											_			
Tourist occupying other Accom-														
<u>modations within a Development</u> Short-Term Rental Unit														
Office									_					
Cabin Rental Office														
Doctor/Dentist Office							-							
Professional Offices						•								
Recreation and Entertainment														
Outdoor Entertainment (44 Feet														
and Under) Outdoor Entertainment (Over 44														
Feet)														
Places of Amusement - Indoor														
Special Assembly Venue														
Tennis Clubs, Country Clubs, & other similar uses														
Retail and Personal Service														
Automobile and Mobile Home Sales														
Day Care Center														
Day Care (TC)										_				
					-									
Farmer's Market					-									
Financial Services					-									
Funeral Home														
Gasoline Stations														
Pawn Shops					-									
Personal Services														
Psychic & Palm Reading Activities										_				
Restaurant With Drive-Through Restaurant Without Drive-in or						-								
Drive-Through						•								
Retail Distilleries														
Retail Stores														

3.0 USES & CONDITIONS

TABLE 3.1 USES PI	ERMITTED BY DISTRIC	CT													
	Permitted														
	Permitted on Review	1													
•	Special Exception	1													
-	Not Permitted						NO	10	10			тоі			
		AR A-R	LDR R-1		HDR R-3	TC	NC C-2	IC C-3		IN M-1	HRO	TCL C-5	VA V-1	MPD	
Retail Wineries															
Sexually Oriented B	usiness &														
Commercial Activiti	es														
Shopping Centers															
Small Distilleries															
Studios for Work an	d/or Teaching														
Tattoo Businesses															
Urgent Care															
Support Service															
Automobile Repair (Similar Operations	jarage and														
Communication Ant	ennas & Tow-					-									
ers															
Construction Servic	es/Office														
Public or Quasi-Pub	lic Utilities														
Terminals															
Warehouses/Storag	e Facilities														
Wholesale Business															
Wireless Telecomm Facilities (TC)	unication														
Accessory															
Caretaker Quarters															
Customary Accesso	rv Ruilding														
Customary Home O															
Home Occupation (1						•									
Storage Yards & Bu															
Temporary and Misc															
Construction Trailer															
Person selling fresh grown in Sevier Cou	produce		_	_						_		_			
grown in Sevier Cou	nty; or fresh														
Christmas trees, in s subject to spoilage	seasuii, ailu														
Planned Unit Develo	opment														
Special and Seasona															
Tents for Assembly															

TCL (C-5)

×

×

x

×

x × × ×

× ×

× x × × × ×

VA (V-1)

MDR (R-2) HDR (R-3)

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AC (C-4) IC (C-3) NC (C-2)

С

IN (M-1)

× ×

x

HRO

LDR

(R-1)

AR (A-R)

STANDARD

■ = Required

× = Not required

 Table 4.1 Development Standards

4.6 Parking and Traffic Circulation

62

DIS	4.6.1	Curb Cuts.
3.0 USES & ONDITIONS	4.6.1.1	Residential uses shall be limited to driveway widths between ten (10) and twenty-five (25) feet and curb cut lengths between twenty (20) and forty (40) feet.
4.0 UEVELOP- MENT STAN- DARDS	4.6.1.2	Uses serving 25 or more large trucks per week shall have driveway widths between twenty (20) and forty (40) feet, and curb cut lengths between seventy (70) and one hundred twenty (120) feet.
5.0 PARKING	4.6.1.3	For all other uses not included in 4.6.1.1 and 4.6.1.2, driveway widths shall be limited to between fifteen (15) and and thirty (30) feet, and curb cut lengths between forty-five (45) and eighty (80) feet.
6.0 SIGNS	4.6.1.4	Major developments, as defined in 4.6.2.2, shall be considered as indi- vidual cases and shall not be subject to maximum width limitations.
RMI-	4.6.1.5	One-way driveway entrances curb cuts shall be a minimum of 12 feet and a maximum 14 feet wide.
7.0 NC	4.6.1.6	Two-way driveway entrances shall be a maximum of 24 feet wide.
A- 0	4.6.1.7	Three-way driveway entrances shall be a maximum of 36 feet wide.
.0 IISTR DN	4.6.1.8	Shared driveways are encouraged.
NII- ADMIN TIG	4.6.1.9	All curb cuts located on Primary Arte- rials, Minor Arterials, and Major col- lectors must comply with the TODT Manual on Driveway access.
9.0 DEFINI- TIONS		

Table 4.1	Development Standards												
STANDAR	RD	DIS	TRIC	CT									
■ = Requ ×= Not re		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)		IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.2	Parking Lot and Driveway Entrances.	,											
4.6.2.1	Except in LDR and MDR residential districts, no driveway shall be con- structed opposite the non-continuous leg of a "T" intersection for a distance equal to the width of the non-continu- ous leg right-of-way plus an additional twenty five (25) feet in each direction. Major developments encompassing five (5) or more uses or requiring 250 or more parking spaces may include a driveway designed to function as the fourth leg of a "T" intersection provid- ed there are no other driveways from the development located within 200 feet of the intersection.		×	×		x		-	-	×			
4.6.2.2	Except in residential districts, no part of any entrance may encroach on the frontage of an adjacent property ex- cept where a joint use driveway is es- tablished at the request of both own- ers.	×	×	×	×	×	-	•		×			
4.6.2.3	Where a lot is used for residential pur- poses, then the driveway accessing it from the street or road shall have a minimum distance of five (5) feet be- tween any edge of such a driveway and either side lot line of the lot.					×		•	×				

STANDAR	D	DIS	TRIC									
■ = Requi ×= Not rec		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10			IN (M-1)	HRO	TCL (C-5)	VA (V-1)
4.6.2.4	For a lot used for non-residential purposes, any edge of any driveway providing access from the street or road shall have a minimum distance of twenty-five (25) feet between such edge and either side lot line of the lot. However, these provisions shall not apply if joint use driveways are approved to access adjoining lots or tracts, nor shall they apply to any non-residential lot that has less than one hundred (100) feet of frontage on a street or road. In the latter case, where a non-residential lot has less than one hundred (100) feet of street or road frontage, the minimum distance between the driveway edge and the side lot line shall be at least five (5) feet.	×	×	×	×	×				×		×
4.6.2.5	With the exception of driveway ac- cess to an agricultural use of land, paving shall be required for each driveway constructed within the City, according to the specifications stated in 4.6.2.7 - 4.6.2.10.	×				×						-
4.6.2.6	Paving for any residential driveway shall be mandatory up to a distance of one-hundred (100) feet from the edge of the street or road accessed by such a driveway.	×				×		×	×			
4.6.2.7	All non-residential driveways, except for those serving agricultural purpos- es, shall be paved for the full extent of their lengths from the road or street right of way.	×					-	-				•

4.0 DEVELOP-MENT STAN-DARDS

Table 4.1 [Development Standards													
STANDARD		DIS	STRIC	T			_							
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.2.8	Paving required for the construction of driveways shall consist of one of the following: (a) at least two (2) inch- es of asphaltic concrete laid over six (6) inches of compacted gravel, or (b) at least four (4) inches of cement con- crete with no underlying gravel base. With regard to a particular site, the City Engineer may require the instal- lation of greater depths of paving and gravel than the minimal amounts stated, due to large traffic volumes and/or heavy vehicles.					×	-							
4.6.2.9	Within the HRO District, it is pre- ferred that driveways and parking areas be constructed of a pre-engi- neered pervious block system or a po- rous pavement material, except that, driveways which lie closer than five (5) feet to a side or rear lot line of an adjoining lot shall be constructed of a pre-engineered pervious block sys- tem or porous pavement system in a manner acceptable to the City Engi- neer. Driveways and parking lots con- structed of asphalt or concrete shall be constructed in accordance with standards established by the Public Works Department.	x	x	×	×	x	×	×	×	×		×	×	
4.6.2.10	In the event that a driveway is built on top of and/or obliterates or damages a public sidewalk, then the driveway must consist of cement concrete in the area previously occupied by the sidewalk.					×	•							

3.0 USES &

4.0 DEVELOP-MENT STAN-

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STANDARD)	DIS	STRIC	T									
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.2.11	Where installation of a driveway is proposed, adequate measures for the control of stormwater onto the public right of way shall be required. Stormwater shall be directed to catch basins, ditches, swales, or other ap- propriate drainage areas, so that such stormwater does not flow sub- stantially onto the public roads or streets, and does not cause erosion or sedimentation on public right of ways and drainageways. The City En- gineer may determine the appropri- ate method of stormwater drainage control necessary to protect public property, and the health and safety of pedestrians and drivers of vehicles on public roads, streets, and ways. (Also, see Section 16-409 of the Sevierville Municipal Code.)					x							
4.6.2.12	Residential driveways, other than those accessing multi-family residen- tial sites, shall not exceed a maximum slope of ten (10) percent for the initial twenty (20) feet of length extending from the edge of a street or road, and shall not exceed a maximum slope of fifteen (15) percent on the remainder of the driveway length. Where an ex- isting lot or tract of land is too steep to reasonably satisfy the applicable requirements on the driveway slope, then the Board of Zoning Appeals may grant a variance, assuming that the variance represents the minimal departure from the requirements nec- essary to attain safe and feasible ac- cess into the property.	×				x		x					

4.0 DEVELOP-MENT STAN-DARDS

Table 4.1 D	evelopment Standards												
STANDARD		DIS	TRIC										
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)		IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.2.13	Driveways serving non-residential and multi-family residential sites shall not exceed a maximum slope of five (5) percent for the initial twenty (20) feet of driveway length extending from the edge of a street or road, and shall not exceed a maximum slope of ten (10) percent on the remainder of the length. Where an existing lot or tract of land is too steep to reason- ably satisfy the applicable require- ments on the driveway slope, then the Board of Zoning Appeals may grant a variance, assuming that the variance represents the minimal departure from the requirements necessary to attain safe and feasible access into the property.	×				x							
4.6.2.14	Lots with residential uses with less than seventy-five (75) feet frontage may have one (1) driveway.	×				×							
4.6.2.15	Lots with residential uses with a front- age of at least seventy-five (75) feet but less than one hundred fifty (150) feet may have two (2) driveways, subject to Planning Commission ap- proval, if the distance between such proposed driveways amounts to no more than the width of one of the driveways where they have equal widths, or no more than the wider of the driveways where unequal widths apply; otherwide only one driveway shall be allowed.	×				×		×	×				
4.6.2.16	Lots with residential uses with a front- age of at least one hundred and fifty (150) feet but less than four hundred (400) feet may have two (2) drive- ways.	×				×		*	×				

4.0 DEVELOP-MENT STAN-D

20

STANDARD		DIS	TRIC										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC				IN (M-1)	HRO	TCL (C-5)	VA (V-1)
4.6.2.17	Lots with residential uses with a front- age of more than four hundred (400) feet may have one (1) additional drive- way for each additional two-hundred (200) feet frontage exceeding the minimum of four hundred (400) feet.	×			•	×	-	-	×	×			
4.6.2.18	Lots with non-residential uses with less than two hundred and fifty (250) feet of frontage may have one (1) driveway.	×				×		-					×
4.6.2.19	Lots with non-residential uses with a frontage of at least two hundred and fifty (250) feet but less than four hundred and fifty (450) feet may have two (2) driveways.	×				×			-				
4.6.2.20	Lots with non-residential uses with more than four hundred and fifty (450) feet of frontage may have one additional driveway for each addi- tional three hundred (300) feet of frontage over four hundred and fifty (450) feet.	×				×							
4.6.3	Interior Design of Parking Lots.												
4.6.3.1	Required parking, for customers ac- cess, must be solidly surfaced with as- phalt or similar material.	×	×	×	×		x	×	×	×	×	×	×
4.6.3.2	All parking lots, except as provided for in Section 4.6.2.10, shall be paved with asphalt or cementious concrete and arranged to channel traffic movements that minimize vehicular/ pedestrian conflicts.	×				×							
4.6.3.3	The number of automobile parking spaces provided shall be at least as great as the number specified in Chapter 3.0 for various uses.	×				×							
4.6.3.4	The number of required spaces shall conform to parking space require- ments in Chapter 3.0.	×	×	×	×		x	x	x	×	×	×	×
4.6.3.5	Each space shall have at least one hundred sixty (160) square feet in area and shall have vehicular access to a public street.	×						-	-				

Table 4.1 D	evelopment Standards														
STANDARD		DIS	STRIC	CT											
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	īC	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)		
4.6.3.6	Minimum parking aisle and width de- mension shall be as follows:	×				×									
Angle 45 Angle 60 Angle 75 Angle 90	Degrees: Wall - 15.5, Stall Curb 14.5, Dep Degrees: Wall - 18.0, Stall Curb 16.5, Dep Degrees: Wall - 19.0, Stall Curb 17.5, Dep Degrees: Wall - 19.5, Stall Curb 17.5, Dep Degrees: Wall - 18.0, Stall Curb 16.0, Dep ths are measured perpendicular to the o	oth to oth to oth to oth to	o Int o Int o Int o Int	terlo terlo terlo terlo	ock 1 ock 1 ock 1 ock 1	6.0, 8.0, 9.0, 8.0,	Stall Stall Stall Stall	Wio Wio Wio Wio	dth 9 dth 9 dth 9 dth 9 dth 9	9.0 A 9.0 A 9.0 A 9.0 A	Aisle Aisle Aisle Aisle	Wid [:] Wid [:] Wid [:] Wid [:]	th 1 th 1 th 2 th 2	3.0 8.0 4.0	
4.6.3.7	Parking aisles shall be arranged so as to channel traffic and minimize ve- hicular/pedestrian conflicts.	×				×	-			•					
4.6.3.8	Signs, signals, and markings shall be in conformance with the Tennessee Manual on Uniform Traffic Control Devices. Where needed, size reduc- tion of devices shall be approved, however, shape and color shall meet requirements of the manual.	×				×	-			•					
4.6.3.9	All commercial, industrial, multi-fam- ily, and other non-residential uses, shall provide a landscaped edge sev- en (7) feet in width on private prop- erty adjacent to all streeets and en- trances and a five (5) foot landscape strip along other property lines, un- less standards for certain uses, as may be set out in Chapter 3.0, differ from this standard. (See also, subsec- tion 4.12, Landscape Standards)	×				×									
4.6.3.10	Parking aisles and interior dividers shall be terminated with terminal islands not less than five (5) feet in width constructed with raised curbs and such shall be landscaped with appropriate cover. (See also, subsec- tion 4.12, Landscape Standards)					×	-								

ZONING 3.0 USES

4.0 Develop-Ment Stan-Dards

STANDAR)	DIS	STRIC	T									
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2	HDR (R-3)	TC	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
4.6.3.11	All fixed objects within parking lots (utility poles, signs, fire hydrants, etc.) shall be located within islands to which access by vehicles is physi- cally limited. These islands shall be appropriately landscaped with grass, shrubs, or other appropriate plant material which shall not exceed 30 inches in height above the adjacent paved surface. (See also, subsection 4.12, Landscape Standards)	×	•			×	-	-		•		-	-
4.6.3.12	Five (5) percent of the interior of the parking area shall be landscaped and one (1) tree for each three hundred (300) square feet of landscaped area. (See also, subsection 4.12, Landscape Standards)	×			•	×	-			•			-
4.6.3.13	Parking lot perimeters, terminal is- lands, interior islands, and dividers shall be landscaped with natural plant materials which at maturity shall not exceed thirty 30 inches in height. At least one deciduous shade tree, which shall grow to a minimum of thirty (30) feet and crown spread no less than one-half of the height at maturity, shall be provided for each twenty-five (25) parking spaces within the lot. The trees shall not be less than one and one-half (1-1/2) inches of cali- per measured at four (4) feet above the ground and shall be no less than eight (8) feet high at time of planting. (See also, subsection 4.12, Landscape Standards)	×				×							

Table 4.1 D	levelopment Standards												•	
STANDARD		DIS	TRIC	T										
■ = Requir ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.3.14	Maintenance of all islands, parking spaces and ways, landscaping, and traffic control devices within the park- ing facility is the responsibility of the property owner. All elements shown on the site plan are to be maintained on a regular schedule. All structures or plant materials that are damaged must be replaced to original stan- dards within ninety (90) days. The Building Official or his designated representative shall regularly inspect parking lots required to meet these regulations. The official shall notify the property owner and/or manager upon finding deficiencies in structural or landscaped areas. (See also, sub- section 4.12, Landscape Standards)	x				x								
4.6.3.15	Vehicular and pedestrian cross ac- cess shall be provided to all adjacent properties.	×	×	×	×					×	×		×	
4.6.3.16	Parking lots shall be setback 5' from property lines.	×	×	×	×		×	×	×	×	×	×	×	
4.6.3.17	Parking spaces shall be delineated by white pavement striping unless other- wise required by ADA. Relective strip- ing is encouraged.	×	×	×	×		-			×	×		×	
4.6.3.18	Fire lanes shall be a minimum of 14 feet in width or as specified in the applicable fire code. Rear access to buildings shall comply with the adopted fire code.	×	×	×	×		-			×	×		×	

4.0 DEVELOP-MENT STAN-DARDS

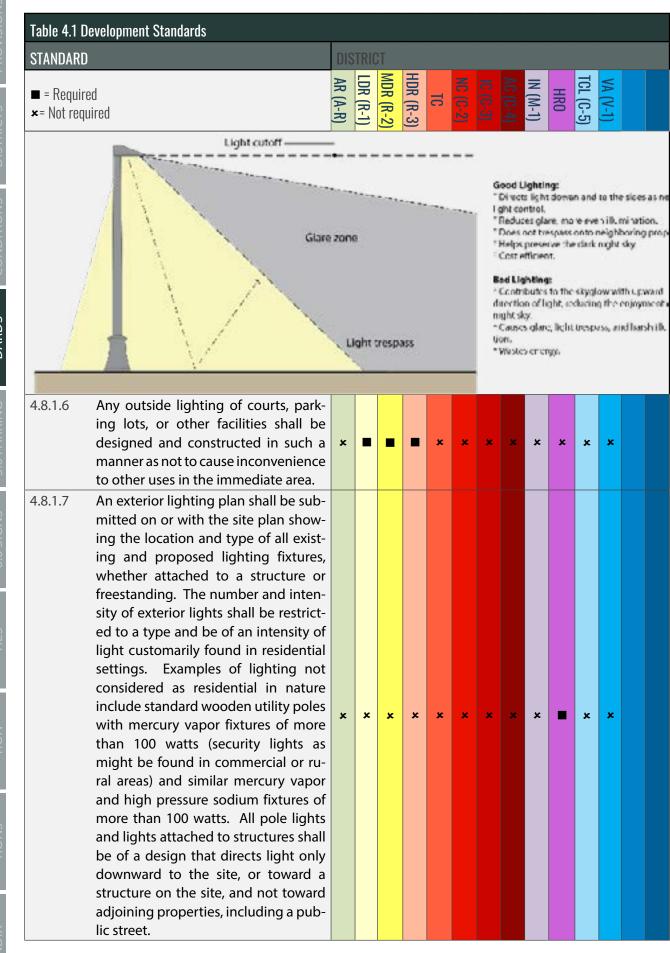
STANDARD)	DIS	TRIC	T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	ΤC	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.6.3.19	Median Islands. Median islands with a minimum width of eight feet inside the curb shall be placed every other parking bay or no more than 150 feet apart and along primary internal and external access drives.	×	×	×	×		-			×	×		×	
4.6.3.20	Loading docks, overhead doors, and truck parking shall be positioned, or screened in such a way as to not be visible from the public street.	×	×	×	×		×	×	×	×	×	×	×	
	destrian Circulation													
	Circulation External to a Site.													_
4.7.1.1	Where a sidewalk plan exists, side- walks shall be provided along all pub- lic streets on the entire frontage of a development site and align with exist- ing sidewalks on adjacent properties. Minimum sidewalk width is five feet. Additional width may be required as determined by Site and Design Re- view.	×	×	×	×	-	-		-	×	×	-	×	
4.7.1.2	Sidewalks shall be ADA compliant. Handicapped access ramps shall be constructed at street corners.	×					-			×	×		×	
4.7.1.3	Where a sidewalk improvement plan exists, sidewalks shall be constructed at least five feet behind the curb to al- low for landscaping and street trees. For new or infill development, new sidewalks shall connect to the exist- ing sidewalk.	×	×	×	×		×	×	×	×	×	×	×	
4.7.1.4	Sidewalks shall not be required to cross driveways as long as the drive- way provides an ADA compliant con- nection between the sidewalk ends.	×	×	×	×					×	×		×	
4.7.1.5	Sidewalks shall be concrete, or other approved surface. Asphalt sidewalks are prohibited.	×	×	×	×		•			×	×		×	
4.7.1.6	Where sidewalk obstructions are unavoidable, a continuous four foot wide path around the obstruction shall be provided.	×	×	×	×		•			×	×		×	

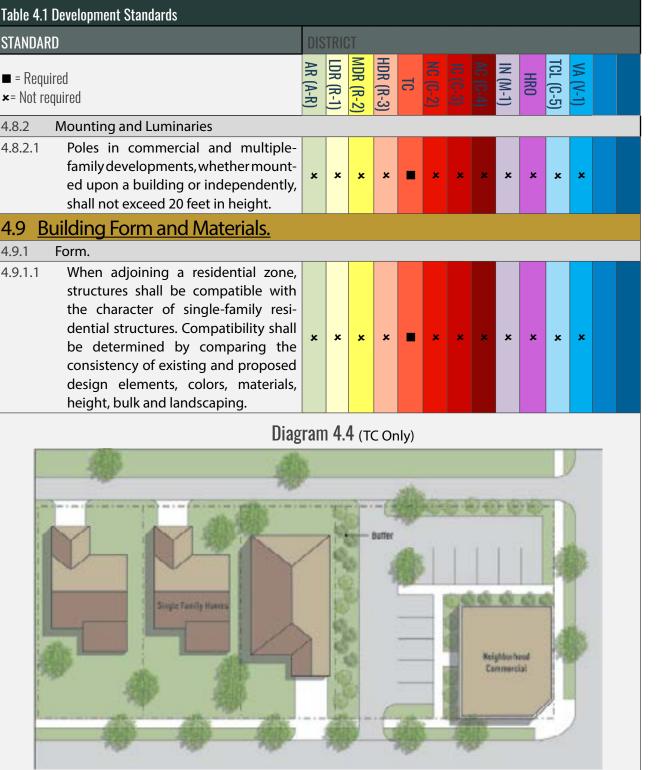
STANDARI)	DIS	TRIC	CT									
■ = Requir ×= Not req	red	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	ΤC	NC (C-2)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.7.1.7	Crosswalks shall be provided to con- nect external pedestrian circulation to a site and safely convey pedestri- ans to the site destination.	×	×	×	×		-		×	×		×	
4.7.1.8	Crosswalks shall be striped in confor- mance with the latest edition of the Manual on uniform Traffic Control Devices.	×	×	×	×				×	×		×	
4.7.1.9	On site plans for commercial, indus- trial, and multi-family uses, show loca- tion of existing sidewalks, and provide a plan for pedestrian circulation.	×	×			×							
4.7.1.10	In the event that a driveway is built on top of/or obliterates or damages a public sidewalk, then the driveway must consist of cement concrete in the area previously occupied by the sidewalk.					×	-		•				
4.7.1.11	There shall be no plants or structures placed in or on any yard or portion of a lot that would obtruct the vision of auto or pedestrian traffic using the in- tercting streets.					×	-		•				
4.7.1.12	Lanscaping, including berms, shall not obstruct pedestrian and/or vehicular traffic visibility at street intersections or at access points to streets.					×	•		•				
4.7.1.13	Signs, signals, and markings shall be in conformance with the Tennessee Manual on Uniform Traffic Central Devices. Where needed, size reduc- tion of devices shall be approved, however, shape and color shall meet requirements of the manual.					×							
4.7.2	Internal Site Circulation						_						
4.7.2.1	Internal pedestrian circulation shall be provided to create interconnected walkways safely conveying pedestri- ans from adjacent streets and park- ing areas to the site destination.	×	×	×	×	-	-		×	×		×	

STANDARI	D	DIS	STRIC)T										
■ = Requi ×= Not rec		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.7.2.2	Material may include brick, pavers, tile, stone, or concrete. The use of as- phalt, cinderblock, and gravel is pro- hibited.	×	×	×	×	-	×	×	×	×	×	×	×	
4.7.2.3	Crosswalks shall be designated by white pavement striping or materials of a different color and texture from the surrounding surface but conform- ing to the overall color scheme of the development.	×	×	×	×	•	×	x	×	×	×	×	×	
4.7.2.4	Parking aisles shall be arranged so as to channel traffic and minimize ve- hicular/pedestrian conflicts.	×	•			x	•			•				
4.7.2.5	All parking lots shall be paved with asphalt or cementitious concrete and arranged to channel traffic move- ments that minimize vehicular/pedes- trian conflicts.	×				×	-			•				
4.7.2.6	In all Districts, there shall be no plants or structures placed in or on any yard or portion of a lot that would obtruct the vision of auto or pedestrian traffic using the intercting streets.					-	-			•				
4.7.2.7	Within Planned Unit Developments, sidewalks shall be constructed, or an equivalent paved internal pediestri- an circulation system, the minimum width of which shall be five (5) feet. Requirement may be waived by De- velopment and Public Works Direc- tors where sidewalks cannot meet ADA standards or other grievances are present (e.g. topgraphical issues).					×	-							
4.7.2.8	On site plans for commercial, indus- trial, and multi-family uses, show loca- tion of existing sidewalks, and provide a plan for pedestrian circulation.					×								
4.7.2.9	Lanscaping, including berms, shall not obstruct pedestrian and/or vehicular traffic visibility at street intersections or at access points to streets.		-			×	-							

MENT STAN-DARDS

STANDARD		DIS	TRIC	T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.7.2.10	Signs, signals, and markings shall be in conformance with the Tennessee Manual on Uniform Traffic Central Devices. Where needed, size reduc- tion of devices shall be approved, however, shape and color shall meet requirements of the manual.					×	-	•						
4.8 <u>Sit</u>	<u>e Lighting and Building Illumir</u>	nati	ion	<u>)</u>										
4.8.1	Lighting and Illumination Generally.													
4.8.1.1	Streets, driveways, parking lots, walks and service areas shall be adequate- ly illuminated as evenly as possible, not exceeding an average of .3 foot- candles diminishing to zero at a site's boundary. Lighting intensity shall be demonstrated by means of a site lighting plan illustrating compliance.	×	×	×	×	-	×	×	×	×	×	×	×	
4.8.1.2	Site lighting shall not extend beyond site boundaries. Luminaries shall be shielded, shaded, or directed to pre- vent light from being cast on adjacent property.	×	×	×	×		×	×	×	×	×	×	×	
4.8.1.3	No exterior lighting fixture shall be placed or directed so as to interfere with the operation of vehicles.	×	×	×	×		×	×	×	×	×	×	×	
4.8.1.4	No exterior light shall have any blink- ing, flashing, or fluttering light, or other illuminating device which has a changing light intensity or brightness of color.	×	×	×	×		×	×	×	×	×	×	×	
4.8.1.5	Lighting fixtures shall be compatible in style with the architecture of their associated buildings.	×	×	×	×	•	×	×	×	×	×	×	×	





4.9.1.2 Building facades shall be oriented parallel to the streets they face. Main entrances shall be visible as a means of creating continuous streetscapes.

APPENDIX

STANDAR	D	DIS	TRIC	;T									
■ = Requi ×= Not rea		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
4.9.1.3	Multiple buildings on a site should be clustered to create plaza or pedestri- an mall areas. Where this cannot be achieved buildings shall be connect- ed by means of pedestrian walkways defined by separate paving textures and accented by landscape areas.	×	×	<u>)</u> ×	×	•	×	×	×	×	×	×	
4.9.1.4	False or stage-set facades are pro- hibited. Materials and colors used on the street façade shall continue to the sides and rear of the building where visible from a street right-of- way or adjacent residence.	×	×	×	×	•	×	×	×	×	×	×	ر
4.9.1.5	The maximum, unbroken facade plane shall be 60 feet. The facade plane shall be interrupted by projections, recesses, portals, courtyards, plazas, or other appropriate architectural design. Facade plane breaks shall have a minimum depth of six inches.		×	×	×	-	×	×	×	×	×	×	J
	Inappropriate Facade - TC Only				Ap	prop	Driat	e Fa	Cade	e - T	COr	ily	
4.9.1.6	No flat-faced cement block or metal surfaces shall be visible, from a major collector or arterial, upon the exterior of any building as a primary surface material or mansard.	×	×	×	×	-	×	¥	×	×	×	×	1

Table 4.1 Development Standards

STANDAR)	DIS	TRIC											
■ = Requir ×= Not req	red uired	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC				IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
							a la contra de la	and the second second	A Real Provention	Sall In	all le	- Internet in		
	(TC Only)	Not	: Per	mit	ted									
4.9.1.7	Pitched roofs shall, as a primary roof form, have a slope not less than 5/12. Porches shall be sloped not less than 3/12.	×	×	×	×	-	×	×	×	×	×	×	×	
4.9.1.8	No sloped roof shall exceed a pitch of 8/12. (Article VIII, Minimum Yard Requirements, Footnote on chart)	×	×	×	×	×	×	×	×	×	×	×	×	
4.9.1.9	Parapet facades may be used when of unified construction with the pri- mary surface of the wall and of the same material and color. The para- pet shall be designed such that the reverse side of all elements shall not be visible to public view. False man- sards are prohibited.	×	×	×	×		×	×	×	×	×	×	×	
4.9.1.10	Parapets shall extend above the high- est level of any roof mounted building equipment on all sides.	×	×	×	×		×	×	×	×	×	x	×	



Appropriate Use of Materials - TC Only

Table 4.1 D	evelopment Standards													
STANDARD	l.	DIS	TRIC)T										
■ = Requir ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.9.2.2	Roof design shall be appropriate to the architectural style of a building. Where exposed to public view, roof material shall be selected from enam- eled standing seam metal, concrete or clay tiles, copper metal, or wood textured (architectural grade) or composition asphalt shingles. The use of plastic, fiberglass, other metal, or glass visible to public view is prohib- ited.	×	×	×	×		×	×	×	×	×	×	×	
4.9.2.3	Where residential structures are pro- posed for adapation to another prin- cipal use, any exterior modification shall in no way comporomise the his- torical residential character of such structure nor the HRO District as a whole.	×	×	×	×	×	×	×	×	×		×	×	
4.9.2.4	The exterior apprearance of new multi-family and non-residential struc- tures shall be a scale and character compatible with the general charac- ter of residential structures in the Dis- trict listed as "contributing structures" to the Thomas Addition Historic Dis- trict, as has be designated by the Na- tional Register of Historic Places.	×	×	×	×	×	×	×	×	*		×	×	
4.9.3 I	Design Detail.													
4.9.3.1	Wall surfaces shall be composed of at least 75% a single material and color. With the exception of decorator ac- cents, colors shall be subtle, neutral, or earth tone or relate to appropriate historic building colors found within the City.	×	×	×	×		×	×	×	*	*	×	×	
4.9.3.2	Walls that can be seen from an arte- rial or major collector street shall be treated as a building façade.	×	×	×	×		×	×	×	×	×	×	×	

3.0 USES &

4.0 DEVELOP-MENT STAN-22

4.0 DEVELOP-MENT STAN-

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	Development Standards	PHO	TD	T										
STANDARD			STRIC											
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.9.3.3	No less than 50% of the horizontal distance of any building front shall be designed with arcades, windows, entrances, awnings, or similar features.	×	×	×	×		×	×	×	×	×	×	×	
4.9.3.4	Retail facades shall be glazed with clear glass no less than 30% of the first story, or 70% in the TC District. Other uses may provide the authentic appearance of such transparency.	×	×	×	×		×	×	×	×	×	×	×	
4.9.3.5	Drive-through, drop-off or unattend- ed free standing use such as ATM ar- eas accessible to general public, are prohibited after the close of the busi- ness day or on weekends.	×	×	×	×	×	×	×	×	×		×	×	
4.10 <u>Ac</u>	cessory Uses and Equipment													
4.10.1 l	Fences.													
4.10.1.1	Fences and walls within a develop- ment shall be of compatible design and materials.	×	×	×	×	-	×	×	×	×	×	×	×	
4.10.1.2	Fences and walls shall be constructed such that the "finished" part of the fence or wall is located toward and facing the exterior of the property.	×	×	×	×		×	×	×	×	×	×	×	
				14	T V									
								三〇日日	· MERETRA					
				-	~			/	-					
4.10.1.3	Fences or walls topped with or con- taining metal spikes, broken glass, razor wire or similar material are pro- hibited.	×	×	×		×	×	×	×	×	×	×	×	
4.10.1.4	Uncoated chain link and other wire material fences shall not be permit- ted in a front setback except in the case of athletic or play surfaces.	×	×	×		×	×	×	×	×	×	×	×	
	case of athletic or play surfaces.													

9.0 DEFINI- ADMINISTRA-

line.

Table 4.1 D	evelopment Standards													
STANDARD		DIS	TRIC)T										
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC				IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.10.1.6	The maximum height of fences and walls shall be four feet above grade when located in a front yard. Other- wise the maximum height of a fence is eight feet.		×	×		×	×	×	×	×	×	¥	×	
4.10.1.7	In no case shall a chain link fence be installed as part of any buffer re- quired for screening regardless of whether it is colored or includes pri- vacy slats.	×	×	×	×	×	×	×	×	×		×	×	
4.10.1.8	Structures consisting of fences and walls shall be limited in height on properties used for non-residential purposes. The height of such struc- tures placed within the required front yard or building setback shall be lim- ited to a maximum of three and one- half (3 1/2) feet. Within the required rear and side yards or building set- backs, fences and walls shall be lim- ited to a height of eight (8) feet.					×			-					
4.10.1.9	If a fence or wall is intended primar- ily for the security of a non-residential site or lot, the Code Enforcement Director may determine whether the fence or wall would provide such se- curity, and thus allow construction to a height of twelve (12) feet.					×								
4.10.1.10	No fence or wall for a non-residential site or lot may be located closer than one foot from the nearest property					×								

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STANDARD)	DIS	TRIC	T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	1C			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.10.2	Walls.													
4.10.2.1	Structures consisting of fences and walls shall be limited in height on properties used for non-residential purposes. The height of such struc- tures placed within the required front yard or building setback shall be lim- ited to a maximum of three and one- half (3 1/2) feet. Within the rquired rear and side yards or building set- backs, fences and walls shall be lim- ited to a height of eight (8) feet.					×	-							
4.10.2.2	If a fence or wall is intended primar- ily for the security of a non-residential site or lot, the Code Enforcement Director may determine whether the fence or wall would provide such se- curity, and thus allow construction to a height of twelve (12) feet.					×	-		-					
4.10.2.3	No fence or wall for a non-residential site or lot may be located closer than one foot from the nearest property line.					×	-		-					
4.10.3	Outside Storage and Waste.													
4.10.3.1	Combinations of berms, landscaping, walls and buildings, shall be used to screen outside storage areas. The use of wooden fences or chain-link fences with slats as a screening de- vice for garbage collection areas is prohibited.	×	×	×	×	•	×	×	×	×	×	×	×	
4.10.3.2	Trash containers and waste oil and grease containers must be visually screened on all sides including gates. Combinations of berms, landscaping, walls, fences and buildings shall be used to screen containers and enclo- sures. Screening shall be at least two (2) feet taller than the container.	×	×	×	×	-	×	×	×	×	×	×	×	

..0 ZONING DISTRICTS

4.0 DEVELOP-MENT STAN-DARDS

o.0 ADMINISTRA-

9.0 DEFINI-

Table 4.1 D	levelopment Standards													
STANDARD		DIS	TRIC	T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.10.3.3	Outside storage areas and waste containers shall be located to the side or rear of principal structures, constructed with wash down facilities and connect to public sewer or ap- proved altenative.	×	×	×	×	•	×	×	×	×	×	×	×	
4.10.3.4	Outside storage areas and waste containers shall be sited to avoid con- flict with vehicular and pedestrian movement.	×	×	×	×		×	×	×	×	×	×	×	
4.11 <u>Hi</u> s	storic Compatibility (HRO only)												
4.11.1.1	Exterior modification shall in no way compromise the historic character of such structure nor the HRO district as a whole.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.2	New additions in the HRO District shall be designed and constructed of materials and methods to maintain the historic scale and character.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.3	New multi-family and non-residential structures shall maintain scale and character of residential structures in the HRO district.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.4	Existing "contributing structures" to the Thomas Addition Historic District provide examples of appropriate building design.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.5	Parking shall be permitted only in rear or side yards in the HRO District.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.6	Pre-engineered pervious block sys- tem or a porous pavement material are preferred for drives and parking in the HRO District, except that, drive- ways which lie closer than five (5) feet to a side or rear lot line lot shall be constructed in a manner acceptable to the City Engineer.	×	×	×	×	×	×	×	×	×		×	×	

STANDARD	evelopment Standards	פוח	TRIC	די										
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)		HDR (R-3)	10	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.11.1.7	In the HRO District, an exterior light- ing plan shall be submitted on or with the site plan showing the location and type of all existing and proposed lighting fixtures, whether attached to a structure or freestanding.	×	×	×	×	×	×	×	×	×		×	*	
4.11.1.8	Lighting shall be restricted to a type and intensity of light typically pres- ent in residential settings. Lighting on standard wooden utility poles with mercury vapor fixtures of more than 100 watts (security lights as might be found in commercial or rural areas) and similar mercury vapor and high pressure sodium fixtures of more than 100 watts are inappropriate.	×	×	×	×	×	×	×	×	×		×	×	
4.11.1.9	All lighting shall be shielded to di- rect light downward or toward a site structure. No light shall be directed toward adjoining properties or public streets.	×	×	×	×	×	×	x	×	×		×	×	
4.11.1.10	In general, rolling cans shall be used for solid waste in the HRO District. Dumpster use may be considered but adequate area must be provided for service vehicles. Driveway areas for solid waste service vehicles must be constructed to the City's heavy-duty pavement standard.	×	×	×	×	×	×	×	×	*		×	×	
4.11.1.11	When non-residential uses abut, a buffer shall be installed at least 3 feet in height. Buffer details includ- ing type, container size, or caliper of landscape materials, and/or fencing materials shall be illustrated. Chain link fencing is prohibited. Landscape materials shall be installed along ex- isting chainlink fencing to provide a visual buffer. (See also, subsection 4.12, Landscape Standards)	×	×	×	×	×	×	×	x	×		×	×	

4.0 DEVELOP-MENT STAN-DARDS **STANDARD**

■ = Required

×= Not required

TCL (C-5)

x

HRO

VA (V-1)

IN (M-1)

x

	residential property owner agrees. (See also, subsection 4.12, Landscape Standards)											••			
4.11.1.13	As part of a site plan submittal, the general nature of proposed exterior modifications and an elevation ren- dering of any facade visible from the street shall be provided.	×	×	×	×	×	×	×	×	×		×	×		
4.12 <u>La</u>	ndscape Standards*														
	ns of Berm, Caliper, Ground Cover, Har		•						nds	cape	e Isla	and,	Lar	ndsca	p-
	ng, Maintain, Maintenance, and Tree are	incl	ude	d in	Cha	pter	9.0)							
	Purpose		_												
	ose of these regulations is to:														
4.12.1.1	Promote reasonable preservation and replenishment in new developments, redevelopments, or expansions, of commercial, industrial, multi-family residential, and other non-residential uses in the City.					×				•					
4.12.1.2	Safeguard and enhance property value		-			×									
4.12.1.3	Provide reasonable regulations that are easily understood by all parties					×									
4.12.1.4	Provide a standard guide for plant selection, installation, and placement					×									
4.12.1.5	Promote awareness of the benefits of effective landscaping among City de- partments, utility providers, develop- ment organizations, individual busi- nesses, and property owners.					×									
4.12.2	General Standards.														
4.12.2.1	Required landscaping shall not in- clude artificial plants, trees, or other artificial vegetation.					×									

MDR (R-2) HDR (R-3)

> × × x

С

AR (A-R)

LDR (R-1)

Table 4.1 Development Standards

4.11.1.12 When nonresdential uses abut or are

ajacent to a resdential use, such buffer shall be 6 feet in height but may

be reduced to 3 feet if the abutting **x x**

STANDARE)	DIS	STRIC)T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2	HDR (R-3)	10			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.2.2	Landscaping, including berms, shall not obstruct pedestrian and/or vehic- ular traffic visibility at street intersec- tions or at access points to streets.		-			×	-		-					
4.12.2.3	All plant material shall be maintained in a healthy and growing condition.		•			×								
4.12.2.4	Landscaped areas shall be kept free of trash, litter, and weeds.					×								
4.12.2.5	Anyone desiring to install and main- tain landscaping materials, landscape or decorative lighting, or irrigation facilities within the City right-of-way must obtain a landscaping permit from the Code Enforcement Depart- ment.		-			×								
4.12.3	Technical Standards													
4.12.3.1	A landscape plan shall contain a description of plant materials and methods for care and maintenance. All landscaping shall be permanently maintaned.		-			×	-	×						
4.12.3.2	Landscaping must coordinate with the landscaping of adjacent proper- ties.	×	×	×	×		x	×	×	×	×	×	×	
4.12.3.3	Planting must be made so that at ma- turity service lines, traffic sight lines, and adjacent properties are not inter- fered with.	×	×	×	×		×	×	×	×	×	×	×	
4.12.3.4	Technical planting standards for land- scape can be found in the Appendix.	×	×	×	×		×	×	×	×	×	×	×	
4.12.4	Credit for Existing Material													
4.12.4.1	Landscape areas shall incorporate existing natural vegetation to the ex- tent feasible. If the natural vegetation is inadequate to meet the required landscaping standards, additional	×	×	×	×	-	×	×	×	×	×	×	×	

2.0 ZONING DISTRICTS

4.0 DEVELOP-MENT STAN-DARDS

APPENDI

STANDARD)	DIS	TRIC	T											
■ = Requir ×= Not req	ed	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)		
4.12.4.2	Existing native habitat or vegetation located within planting areas that are preserved and meeting the require- ments of this section may be counted toward the requirements of this Sec- tion.	×	×	<u>×</u>	×	•	×	×	×	×	×	×	×		
4.12.4.3	Credit may also be granted for exist- ing plant material, fences and walls on abutting property that meet the landscape requirements.	×	×	×	×	-	×	×	×	×	×	×	×		
4.12.5	Relationship to Previously Approved Site	Pla	ns					,							
4.12.5.1	No site plan approved by the Plan- ning Commission prior to the effec- tive date of this section shall be re- quired to conform to the landscaping requirements of this section unless the site plan is being resubmitted to the Planning Commission and there is a thirty percent (30%) or more in- crease in the square footage of build- ing area or parking lot.	×				×				•					
	Landscaping Along Street Right-of-Way to the content of the conten	for C	Com	mer	cial,	Indu	ustria	al, N	lulti	-fam	nily R	Resid	lent	ial, a	nc
4.12.6.1	A landscaped edge on private prop- erty shall be provided adjacent to all streets and entrances. The land- scaped edge shall be a minimum width of seven feet, exclusive of street right-of-way. Within the landscaped edge, one tree (2" caliper minimum) shall be planted per 25 linear feet of landscaped edge. The number of required trees shall be calculated solely on the linear frontage of the re- quired landscaped edge and shall be rounded to the nearest whole num- ber. Trees may be grouped together or evenly spaced.	×				×			-	•	×				

STANDARD		DIS	TRIC	T											
■ = Requir ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)		
4.12.6.2	Where parking lots and drives abut the landscaped edge, ten shrubs (2 gallon minimum) shall be planted per 40 linear feet of abutment to the landscaped edge. These shrubs are in addition to the required num- ber of trees. The number of required shrubs shall be calculated solely on the linear frontage of parking lot/ drive abutment to the required land- scaped edge and shall be rounded to the nearest whole number. A berm or masonry wall may be placed within the landscaped edge in lieu of the re- quired shrubs. The berm or masonry wall must be at least 30 inches above the top of the parking lot adjacent to the closest street.	×				x					×				
4.12.6.3	Within the landscaped edge, one tree (3" caliper minimum) shall be planted per 30 lineal feet of landscaped edge. The number of required trees shall be calculated solely on the linear front- age of the required landscaped edge and shall be rounded to the nearest whole number. Trees may be grouped together or evenly spaced.	×	×	×	×		×	×	×	×	×	×	×		
4.12.6.4	The Planning Commission may re- duce the width of the required land- scaped edge during site plan review when the reduction is required for public improvements.	×				×				•	×				
	Perimiter Landscaping for Commercial, I dential Uses.	ndu	Istria	al, N	lulti-	fam	ily R	esid	lent	ial, a	and o	othe	r No	on-r	e
4.12.7.1	A landscaped strip of five (5) feet shall be required along property boundar- ies which do not abut a public street right-of-way.	×				×				•	×				

STANDARD		DIS	STRIC	T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	ΠC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.7.2	Off-street parking areas shall be pro- vided with a visual buffer from con- tiguous properties, including public streets where parking lots are visible from a public street. Buffers may be composed of evergreen landscape materials, a combination of evergreen and deciduous landscape materials, fencing, berms, or a combination of such materials, so that a year round screen which is at least eighty (80) percent opaque is achieved. Where a parking area abuts or is directly across the street from an existing sin- gle family, two-family, or multi-family use, such buffer shall be at least six (6) feet in height from the finished grade of the parking area; except that, such buffer may be reduced in height to a height no lower then three (3) feet upon written request of the adjoining property owner presented at the time the site plan is submitted for review by the HRO Committee. Whenever a nonresidential use is proposed which adjoins another nonresidential use, a buffer of the nature described above shall be installed and may be less than six (6) feet in height, but no less than three (3) feet in height.	×	×	×	×	×	×	×	×	×		×	×	
4.12.7.3	A perimeter landscaped edge shall be provided along all yards that are adjacent to all streets and entranc- es. The landscaped edge shall be a minimum width of 5 feet, exclusive of street right-of-way. In addition, for each non-residential parcel that is ad- jacent to a residential parcel the mini-	×	×	×	×	-	×	×	×	×	×	×	×	

4.0 DEVELOP-MENT STAN-DARDS

APPENDIX

		DIG	TDIC	т											
STANDARD															
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC				IN (M-1)	HRO	TCL (C-5)	VA (V-1)		
4.12.7.4	Within the landscaped edge, one tree (3" caliper minimum) shall be planted per 30 lineal feet of landscaped edge. The number of required trees shall be calculated solely on the linear front- age of the required landscaped edge and shall be rounded to the nearest whole number. Trees may be grouped together or evenly spaced.	×	×	×	×	-	×	×	×	×	×	×	×		
	Interior Landscaping for Commercial, Ir dential Uses.	dus	tria	, Mi	ulti-f	fami	ly Re	esid	enti	al, a	nd o	othe	r No	on-re	e:
4.12.8.1	Five (5) percent of the interior of the parking area shall be landscaped and one (1) tree for each three hundredd (300) square feet of landscaped area.					×	-		-	-	×				
4.12.8.2	All fixed objects within parking lots (utility poles, signs, fire hydrants, etc.) shall be located within islands to which access by vehicles is physi- cally limited. These islands shall be appropriately landscaped with grass, shrubs or other appropriate plant material which shall not exceed 30 inches in height above the adjacent paved surface.					×					×				
4.12.8.3	Parking aisles and interior dividers shall be terminated with terminal islands not less than five (5) feet in width constructed with raised curbs and they shall be landscaped with ap- propriate cover.					×	•	-			×				

9.0 DEFINI-

Table 4.1 D	levelopment Standards													
STANDARD		DIS	TRIC	T										
■ = Requir ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.8.4	Parking lot perimeters, terminal is- lands, interior islands and dividers shall be landscaped with natural plant materials which at maturity shall not exceed thirty 30 inches in height. At least one deciduous shade tree, which shall grow to a minimum of thirty (30) feet and crown spread no less than one-half of the height at maturity, shall be provided for each twenty- five (25) parking spaces within the lot. The trees shall not be less than one and one-half (1-1/2) inches of caliper measured at four (4) feet above the ground and shall be no less than eight (8) feet high at time of planting.					x					×			
4.12.8.5	Parking spaces shall be designed and constructed in a manner that will pre- vent damage to the landscaping by vehicles or pedestrian traffic.					×								
4.12.8.6	Minimum of 15 percent of the entire lot to be landscaped with at least one tree per 15 square feet of landscaped area and 4 shrubs per 2,000 square feet of landscaped area. Trees and shrubs should be clustered together throughout the site. Permeable pav- ers could replace 1/4 of the 15 percent landscape of the entire lot, per Direc- tor's discretion.	×	×	×	×		×	×	×	×	×	×	×	
4.12.8.7	If landscape mulch is to be used, it must be placed at least two (2) feet from the edge of a building. Land- scape rock or other similar material may be placed next to the building.		×	×	×		×	×	×	×	×	×	×	
4.12.8.8	For parking lots with more than 10 spaces, there shall be a minimum of one tree per five parking spaces. A minimum of 65 percent of the required parking lot trees shall be provided within the interior of the parking lot.		×	×	×		×	×	×	×	×	×	×	

3.0 USES &

4.0 DEVELOP-MENT STAN-DARDS

FINI-

ADMINISTRA-

PENDIX

STANDARD		DIS	TRIC)T										
■ = Require ×= Not requ	ed uired	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.8.9	Required parking lot islands shall con- tain a minimum of one large, shade or canopy tree per island. The end of every parking aisle shall have a land- scaped island and 15 parking spaces is the maximum number that can oc- cur before a landscaped island is pro- posed. (See Standard 4.1.3 for island requirement).	×	×	×	×		×	×	×	×	×	×	×	
4.12.8.10	Landscaped areas shall be at least 75 percent covered with grass or other surface approved by the Director or their designee. Planting shall be es- tablished prior to building occupancy.	×	×	×	×		×	×	×	×	×	×	×	
4.12.8.11	Median islands shall have one canopy tree for every 30 linear feet at a max- imum of 40 feet apart.	×	×	×	×		×	×	×	×	×	×	×	
4.12.9 <i>I</i>	Alternative: Low Impact Design													
4.12.9.1	Requirements of the parking lot land- scaping may be altered if profession- ally designed stormwater conveyance planters are proposed at the discre- tion of the Site Review Committee.	×	×	×	×		×	×	×	×	×	×	×	
4.12.9.2	Canopy trees tolerant of wet condi- tions shall be planted at a maximum of 40 feet on-center.	×	×	×	×		×	×	×	×	×	×	×	
4.12.9.3	Seventy-five (75%) percent of the to- tal planter area must be covered with appropriate vegetation consistent with modern practices of stormwater planter design.	×	×	×	×		×	×	×	×	×	×	×	
4.12.9.4	Permanent sculptures or other public art or vertical architectural structures that are non-intrusive but interrupt the horizontal sight lines of a parking lot, may be credited for no more than 20 percent of the total landscape re- quirements based upon the discretion of the Site Review Committee.	×	×	×	×		×	×	×	*	*	×	×	
4.12.9.5	Art which is viewable from public right-of-ways that meet the requirements of the public art process.	×	×	×	×		×	×	×	×	×	×	×	

JEVELOP-NT STAN-DARDS

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Table 4.1 D	evelopment Standards													
STANDARD		DIS	STRIC	CT										
■ = Requir ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.9.6	A fountain, pool, or waterfall that is created either on the exterior or in- terior of location which creates an ambiance and decor of the establish- ment.	×	×	×	×	-	×	×	×	×	×	×	×	
4.12.9.7	Parking areas with less than 20 park- ing spaces must provide a minimum landscape area totaling 15 percent of the total parking area and shall be landscaped with shrubs at a mini- mum ratio of one per every 15 square feet of landscaped area. In addition, one (1) canopy tree shall be planted for every 5 parking spaces but with a minimum of 2 trees planted.	×	×	×	×		×	×	×	×	×	×	×	

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GENERAL

0 ZONING

3.0 USES &

4.0 DEVELOP-MENT STAN-DARDS

STANDARD		DIS	TRIC	T										
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.10 L	andscape and Open Space in Planned U	Jnit	Dev	elop	ome	nts								
4.12.10.1	For the mitigation of noise and heat, improvement of visual character and a generally more pleasing environ- ment, landscaping shall be required for each PUD. All residential PUD's shall have landscaping on the outer perimeter of the development con- sisting of an average of one tree (two inch caliper) per twenty-five (25) feet of frontage upon a street or road, and shubbery amounting to five plants per twenty (20) feet of paved width for any street, road, or driveway ac- cessing the exterior portion of the development. In addition to the fore- going, multi-family PUD's shall satisfy the regulations in Section 8.4 pertain- ing to parking areas. Commercial PUD's shall adhere to the landscap- ing requirements of this and other ap- plicable provisions of this ordinance. The Planning Commission also may require buffering and screening with trees, where the exterior property line of any proposed PUD abuts an exist- ing residential development or exist- ing commercial or industrial use or zoning district.													
4.12.10.2	Commercial and industrial PUD open space shall be landscaped and shown on the PUD Plan and as provided for by this and other applicable sections of this ordinance.		-		-		-			•			-	

Table 4.1 D	evelopment Standards			·									
STANDARD		DIS	TRIC)T									
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NG (C-2)		IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.10.3	Residential PUDs shall have on site usable recreation area and/or open space. Such areas shall be set aside for open space or recreation purpos- es only. These are intended to serve the residents of the PUD, and should therefore be easily accessible to them. If the PUD contains individually owned units, then such open space shall be maintained in common own- ership established in the appropri- ate legal manner, as provided for in 4.12.10.4.	×	×			x		×	×	×	×		
4.12.10.4	In PUDs, open space, including storm- water and transportation infrastruc- ture, and recreational facilities, shall be established in the appropriate legal manner in one of the following methods: by the developer or man- agement authority of the PUD; by a Homeowner's/Property Owner's As- sociation established by deed restric- tions; and/or by the public if dedica- tion of such open space is approved by the Planning Commission.					×							

4.0 DEVELOP-MENT STAN-

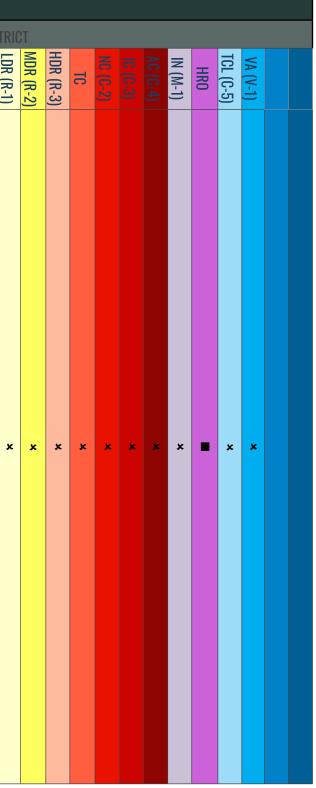
STANDARD		פוח	STRIC	?Т										
■ = Require ×= Not requ	ed	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10	NC (C-2)		AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.10.5	In the VA District, a minimum of 20% of every visitor accommodation de- velopment shall be devoted to open space and planted with vegetation. Such open space may be used to also satisfy landscape requirements as set forth in this and other applicable provisions of this ordinance, and may provide areas for recreational uses utilizing landscaped surfaces (trails, playing fields, etc.). Where a recre- ational vehicle park or recreational vehicle parking area abuts a pub- lic street which also abuts a district zoned primarily for residential use (LDR, MDR, HDR), the landscape buf- fer shall be designed of plant materi- als, fencing, and/or berming so that a screen of at least six (6) feet in height that is at least eighty (80) percent opaque at any time during the year.	×	×	×	×	×	x	×	×	×	×	×		

Table 4.1 Development Standards													
STANDARD	DIS	STRIC	T										
■ = Required ×= Not required	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	10			AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.11 Tree Preservation and Replacement													
4.12.11.1 In the HRO District, no residential or nonresidential structure shall be demolished nor any site clearing or grading occur without first obtaining a demolition permit from the Code Enforcement Director and/or a land disturbance permit (clearing and/or grading permit) from the Develop- ment Department. If the demolition or land disturbance is for the purpose of preparing a site for construction of a multi-family or nonresidential use, then a plan showing the location of all trees having a caliper of two (2) inches or more at six (6) inches above exist- ing grade shall be submitted with the application for a demolition or land disturbance permit. No trees of such description shall be removed during demolition or clearing and/or grading unless a tree replacement plan meet- ing the requirements of 4.12.11.2 has been submitted to the Development Department for presentation to the Planning Commission.		×	×	×	×	×	×	×	×		×	×	

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4.0 DEVELOP-MENT STAN-DARDS

the site plan. Where installation of replacement trees on site is not fea- sible due to location of sidewalks and other paved areas, overhead and un- derground utilities, and the like, the applicant shall be permitted to install shrubs at a ratio of at least three (3) shrubs for each tree removed. The lo- cation, type, and size of such shrubs	replacement trees on site is not fea- sible due to location of sidewalks and other paved areas, overhead and un- derground utilities, and the like, the applicant shall be permitted to install shrubs at a ratio of at least three (3) shrubs for each tree removed. The lo-	×	LDR (R-1) ×	MDR (R-2) ×	HDR (R-3) ×	
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Table 4.1 D	evelopment Standards													
STANDARD		DIS	TRIC	T										
■ = Require ×= Not requ		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	5	NC (C-2)			IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.12.12 C	Care During Construction													
4.12.12.1	All existing trees and shrubs to re- main on the site as required landscap- ing shall be protected from vehicular movement and material storage over their root spaces.	×	×	×	×		×	×	×	×	×	×	×	
4.12.12.2	Trees designated for protection must be completely enclosed by a fence. Fencing must be in place prior to any clearing or site work. Fencing must remain in place until all construction has been completed.	*	×	×	×		×	×	×	*	×	*	×	
4.12.13 N	Naintenance After Construction for Proje	ects	Req	uirir	ng Si	ite P	lan d	or Pl	JD F	lan				
4.12.13.1	All plant material which dies within one year after planting shall be re- placed with plant material of the re- quired size within thirty days of the plant material's death. This period may be extended if weather condi- tions inhibit installation of new plant materials.	×	×	×	×		×	×	×	×	*	×	×	
4.12.13.2	All landscaping shall be permanently maintained.	×				×	•						×	
4.12.13.3	All plant materials shall be main- tained in an attractive and healthy condition by watering, mulching, fer- tilizing, pest management, mowing, weeding, removal of litter and dead plant material, and pruning as neces- sary.	×	×	×	×		×	×	×	×	*	×	×	
4.12.13.4	Dead or diseased plant materials shall be removed. Replacement plant materials shall be provided for any re- quired trees or shrubs that die or are removed for any reason.	×	×	×	×		×	×	×	×	×	×	×	

Table 4.1 [Development Standards													
STANDARD)	DIS	STRIC)T										
■ = Requir ×= Not req		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	IC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	
4.13 <u>St</u>	ormwater Standards for Projec	ts I	Rec	<u>luir</u>	ing	Sit	<u>e P</u>	lan	or	PU	DF	Plar	<u>1</u>	
4.13.1	A stormwater plan shall be submitted as part of a site plan or PUD plan.	×	•			×								
4.13.2	Detention shall be located to either the side or back side of a building. If located in the front, then it shall be used as a landscape feature and shall be appropriately landscaped.	×	×	×	×		×	×	×	×	×	×	×	
4.13.3	Tennessee Department of Environ- mental Compliance best manage- ment practices are encouraged.	×	×	×	×		×	×	×	×	×	×	×	
4.13.4	Wherever practical, low impact de- velopment techniques shall be used and maintained.	×	×	×	×		×	×	×	×	×	×	×	

4.0 Develop-Ment Stan-Dards

	PROVISION
DNI	TS

TABLE 6.1 PERMITTED SIG	INS BY Z	ONING	DISTRI	CT									
= Permitted							Zone						
🗆 =Master Sign Plan													
×= Not permitted	AR	LDR	MDR	HDR	тс	NC	IC	AC	IN	HRO	TCL	VA	IIO
Sign Types	(A-R)	(R-1)	(R-2)	(R-3)		(C-2)	(C-3)	(C-4)	(M-1)		(C-5)	(V-1)	(II-1)
On Premises Signs - Attac	hed												
Wall													
Wall, Digital													
Window													
Canopy													
Structural Canopy													
Projecting													
On Premises Signs - Detag	ched												
Monopole													
Pole													
Monument													
Detached Wall													
Public Directory													
Private Directory													
Destination Arrival													
Directional													
Menu Board													
Entrance/Exit													
On Premises - Temporary	,												
A-Frame													
Promotional Signage													
Window													
Off Premises - Permanent													
Off-Premise Directional													
Sign (Non-commercial)										_			_
Subdivision													
Billboard													
Billboard, Digital													
Off Premises - Temporary													
Campaign													
Auction													