



A photograph of Sevierville City Hall, a two-story brick building with a portico supported by white columns. Three flagpoles stand in front of the building, flying the American flag, the Tennessee state flag, and a smaller flag. The sky is clear and blue. The text 'SEVIERVILLE CITY HALL' is visible on the brick wall.

SEVIERVILLE
CITY HALL

Sevierville, Tennessee Zoning Ordinance

2.4.4 High Density Residential - HDR			
PURPOSE			TYPICAL BUILDING TYPE
<p>It is the intent of this district to provide areas for high density residential development plus open areas where similar development is likely to occur. Professional services are permitted in the district provided that they meet applicable standards, are limited so as not to encourage general business activity, and are located on a major arterial or collector street as noted on the zoning map.</p>			
AREA, YARD, AND HEIGHT REQUIREMENTS (ARTICLE VIII)			TYPICAL LOT PATTERN
	Single Family Detached	Duplex	Multiple-Family
Minimum lot area (sf)	7,000	14,000	?
Minimum lot width (ft)	40	40	40
Minimum floor area per dwelling unit (sf)	n/a	n/a	n/a
Maximum building coverage (% of lot area)	n/a	n/a	n/a
Maximum gross unit density(ac)	6.2	21	21
Maximum height (ft)	35	35	35
Minimum front yard setback (ft)	30	30	30
Minimum side yard setback (ft)	8 per story	8 per story	8 per story
Minimum rear yard setback (ft)	25	25	25
District Land Uses	See Section 3		
Development Standards	See Section 4		
Parking Standards	See Section 5		
<p>NOTES: (sf = square feet, ft = feet) Site plan review or PUD Plan review is required for multi-family according to Sections 8.3, 10.1 Appendix, and 8.4 where applicable.</p>			
TYPICAL DEVELOPMENT CONFIGURATION			
			

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TABLE 3.1 USES PERMITTED BY DISTRICT																
■	Permitted															
□	Permitted on Review															
◆	Special Exception															
-	Not Permitted	AR A-R	LDR R-1	MDR R-2	HDR R-3	TC	NC C-2	IC C-3	AC C-4	IN M-1	HRO	TCL C-5	VA V-1	MPD		
Agriculture																
Agriculture Tourism Activity	■											■	■	■		
Customary General Farming	■	■	■	■	■		■	■								
Winery	■									■		■	■	■		
Residential																
Boarding and Rooming Houses				■	■									■		
Live/Work Unit						■	■	■						■		
Mobile Home Park					■		■									
Multifamily				■	■		■	■			□	■	■	■		
Single Family	■	■	■	■	■	◆	■	■			■	■	■	■		
Two Family				■	■		■	■			■	■	■	■		
Upper Floor Housing						■	■	■	■		■	■	■	■		
Institutional																
Community & Civic Association Uses					■	■	■	■	■	■				■		
Government		■	■	■	■	■	■	■	■	■	■	■		■		
Hospital						■	■	■	■	■				■		
Library						■	■	■	■					■		
Medical Clinics (Specified)							■	■	■					■		
Museum or Art Gallery						■	■	■	■			■		■		
Nursing Home					■		■	■	■	■				■		
Park, Public	■	■	■	■	■	■	■	■	■	■	■	■	■	■		
Religious Assembly	■	■	■	■	■	■	■	■	■	■	□	■	■	■		
School		■	■	■	■		■	■	■					■		
Industrial																
Any industry which does not cause injurious or obnoxious noise, fire hazards or other objectionable conditions										■						
Large Distillery										■						
Mining/Extraction										◆						
Lodging																
Bed and Breakfast Homestay											■			■		
Bed and Breakfast Inn												■	■	■		

TABLE 3.1 USES PERMITTED BY DISTRICT

	■ Permitted	□ Permitted on Review	◆ Special Exception	- Not Permitted	AR	LDR	MDR	HDR	TC	NC	IC	AC	IN	HRO	TCL	VA	MPD		
					A-R	R-1	R-2	R-3		C-2	C-3	C-4	M-1		C-5	V-1			
Hotel, Motel - With Amusement											■	■	■		■	■	■		
Hotel, Motel - Without Amusement									■		■	■	■		■	■	■		
Recreational Vehicle Park/Travel Trailer Park											■	■			■	■	■		
Recreational Vehicle Parking for Tourist occupying other Accommodations within a Development																■			
Short-Term Rental Unit	■		□	■	■						■	□		□	■	■	■		
Office																			
Cabin Rental Office											■	■	■		■	■	■		
Doctor/Dentist Office										■	■	■	■		■	■	■		
Professional Offices				■	■	■	■	■	■	■	■	■	■	■	■	■	■		
Recreation and Entertainment																			
Outdoor Entertainment (44 Feet and Under)												■			■	■	■		
Outdoor Entertainment (Over 44 Feet)															□	■	■		
Places of Amusement - Indoor												■			■	■	■		
Special Assembly Venue	■										■				■	■	■		
Tennis Clubs, Country Clubs, & other similar uses		■	■	■						■	■		■		■	■	■		
Retail and Personal Service																			
Automobile and Mobile Home Sales											■	■	■		■	■	■		
Day Care Center			■	■						■	■	■	■	□	■	■	■		
Day Care (TC)									■										
Farmer's Market									■								■		
Financial Services									■	■	■	■			■	■	■		
Funeral Home									■	■	■	■	■				■		
Gasoline Stations										■	■	■	■		■	■	■		
Pawn Shops												■							
Personal Services									■	■	■	■	■	□	■	■	■		
Psychic & Palm Reading Activities												■							
Restaurant With Drive-Through										■	■	■			■	■	■		
Restaurant Without Drive-in or Drive-Through									■	■	■	■	■		■	■	■		
Retail Distilleries									■	■	■	■	■		■	■	■		
Retail Stores									■	■	■	■	■		■	■	■		

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Table 4.1 Development Standards

STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
■ = Required x = Not required												
4.6.2 Parking Lot and Driveway Entrances.												
4.6.2.1	Except in LDR and MDR residential districts, no driveway shall be constructed opposite the non-continuous leg of a "T" intersection for a distance equal to the width of the non-continuous leg right-of-way plus an additional twenty five (25) feet in each direction. Major developments encompassing five (5) or more uses or requiring 250 or more parking spaces may include a driveway designed to function as the fourth leg of a "T" intersection provided there are no other driveways from the development located within 200 feet of the intersection.											
	■	x	x	■	x	■	■	■	■	x	■	■
4.6.2.2	Except in residential districts, no part of any entrance may encroach on the frontage of an adjacent property except where a joint use driveway is established at the request of both owners.											
	x	x	x	x	x	■	■	■	■	x	■	■
4.6.2.3	Where a lot is used for residential purposes, then the driveway accessing it from the street or road shall have a minimum distance of five (5) feet between any edge of such a driveway and either side lot line of the lot.											
	■	■	■	■	x	■	■	x	x	■	■	■

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	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (G-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)		
<p>■ = Required ✕ = Not required</p>														
4.6.2.8 Paving required for the construction of driveways shall consist of one of the following: (a) at least two (2) inches of asphaltic concrete laid over six (6) inches of compacted gravel, or (b) at least four (4) inches of cement concrete with no underlying gravel base. With regard to a particular site, the City Engineer may require the installation of greater depths of paving and gravel than the minimal amounts stated, due to large traffic volumes and/or heavy vehicles.	■	■	■	■	✕	■	■	■	■	■	■	■		
4.6.2.9 Within the HRO District, it is preferred that driveways and parking areas be constructed of a pre-engineered pervious block system or a porous pavement material, except that, driveways which lie closer than five (5) feet to a side or rear lot line of an adjoining lot shall be constructed of a pre-engineered pervious block system or porous pavement system in a manner acceptable to the City Engineer. Driveways and parking lots constructed of asphalt or concrete shall be constructed in accordance with standards established by the Public Works Department.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕		
4.6.2.10 In the event that a driveway is built on top of and/or obliterates or damages a public sidewalk, then the driveway must consist of cement concrete in the area previously occupied by the sidewalk.	■	■	■	■	✕	■	■	■	■	■	■	■		

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STANDARD		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)		
■ = Required x = Not required															
4.6.2.11	Where installation of a driveway is proposed, adequate measures for the control of stormwater onto the public right of way shall be required. Stormwater shall be directed to catch basins, ditches, swales, or other appropriate drainage areas, so that such stormwater does not flow substantially onto the public roads or streets, and does not cause erosion or sedimentation on public right of ways and drainageways. The City Engineer may determine the appropriate method of stormwater drainage control necessary to protect public property, and the health and safety of pedestrians and drivers of vehicles on public roads, streets, and ways. (Also, see Section 16-409 of the Sevierville Municipal Code.)	■	■	■	■	x	■	■	■	■	■	■	■		
4.6.2.12	Residential driveways, other than those accessing multi-family residential sites, shall not exceed a maximum slope of ten (10) percent for the initial twenty (20) feet of length extending from the edge of a street or road, and shall not exceed a maximum slope of fifteen (15) percent on the remainder of the driveway length. Where an existing lot or tract of land is too steep to reasonably satisfy the applicable requirements on the driveway slope, then the Board of Zoning Appeals may grant a variance, assuming that the variance represents the minimal departure from the requirements necessary to attain safe and feasible access into the property.	x	■	■	■	x	■	■	x	■	■	■	■		

Table 4.1 Development Standards

STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (G-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.6.2.13 Driveways serving non-residential and multi-family residential sites shall not exceed a maximum slope of five (5) percent for the initial twenty (20) feet of driveway length extending from the edge of a street or road, and shall not exceed a maximum slope of ten (10) percent on the remainder of the length. Where an existing lot or tract of land is too steep to reasonably satisfy the applicable requirements on the driveway slope, then the Board of Zoning Appeals may grant a variance, assuming that the variance represents the minimal departure from the requirements necessary to attain safe and feasible access into the property.	✕	■	■	■	✕	■	■	■	■	■	■	■
4.6.2.14 Lots with residential uses with less than seventy-five (75) feet frontage may have one (1) driveway.	✕	■	■	■	✕	■	■	■	■	■	■	■
4.6.2.15 Lots with residential uses with a frontage of at least seventy-five (75) feet but less than one hundred fifty (150) feet may have two (2) driveways, subject to Planning Commission approval, if the distance between such proposed driveways amounts to no more than the width of one of the driveways where they have equal widths, or no more than the wider of the driveways where unequal widths apply; otherwise only one driveway shall be allowed.	✕	■	■	■	✕	■	■	✕	✕	■	■	■
4.6.2.16 Lots with residential uses with a frontage of at least one hundred and fifty (150) feet but less than four hundred (400) feet may have two (2) driveways.	✕	■	■	■	✕	■	■	✕	✕	■	■	■

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<p>■ = Required ✕ = Not required</p>												
4.6.3.6	✕	■	■	■	✕	■	■	■	■	■	■	■
Angle 30 Degrees: Wall - 15.5, Stall Curb 14.5, Depth to Interlock 12.5, Stall Width 9.0 Aisle Width 12.0 Angle 45 Degrees: Wall - 18.0, Stall Curb 16.5, Depth to Interlock 16.0, Stall Width 9.0 Aisle Width 13.0 Angle 60 Degrees: Wall - 19.0, Stall Curb 17.5, Depth to Interlock 18.0, Stall Width 9.0 Aisle Width 18.0 Angle 75 Degrees: Wall - 19.5, Stall Curb 17.5, Depth to Interlock 19.0, Stall Width 9.0 Aisle Width 24.0 Angle 90 Degrees: Wall - 18.0, Stall Curb 16.0, Depth to Interlock 18.0, Stall Width 9.0 Aisle Width 24.0 *Stall depths are measured perpendicular to the centerline of the parking aisle (Section 402.21.1)												
4.6.3.7	✕	■	■	■	✕	■	■	■	■	■	■	■
4.6.3.8	✕	■	■	■	✕	■	■	■	■	■	■	■
4.6.3.9	✕	■	■	■	✕	■	■	■	■	■	■	■
4.6.3.10	✕	■	■	■	✕	■	■	■	■	■	■	■

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		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TIC	NC (G-2)	IC (G-3)	AG (G-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
■ = Required x = Not required													
4.6.3.11	All fixed objects within parking lots (utility poles, signs, fire hydrants, etc.) shall be located within islands to which access by vehicles is physically limited. These islands shall be appropriately landscaped with grass, shrubs, or other appropriate plant material which shall not exceed 30 inches in height above the adjacent paved surface. (See also, subsection 4.12, Landscape Standards)	x	■	■	■	x	■	■	■	■	■	■	■
4.6.3.12	Five (5) percent of the interior of the parking area shall be landscaped and one (1) tree for each three hundred (300) square feet of landscaped area. (See also, subsection 4.12, Landscape Standards)	x	■	■	■	x	■	■	■	■	■	■	■
4.6.3.13	Parking lot perimeters, terminal islands, interior islands, and dividers shall be landscaped with natural plant materials which at maturity shall not exceed thirty 30 inches in height. At least one deciduous shade tree, which shall grow to a minimum of thirty (30) feet and crown spread no less than one-half of the height at maturity, shall be provided for each twenty-five (25) parking spaces within the lot. The trees shall not be less than one and one-half (1-1/2) inches of caliper measured at four (4) feet above the ground and shall be no less than eight (8) feet high at time of planting. (See also, subsection 4.12, Landscape Standards)	x	■	■	■	x	■	■	■	■	■	■	■

Table 4.1 Development Standards												
STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required x = Not required</p>												
4.6.3.14 Maintenance of all islands, parking spaces and ways, landscaping, and traffic control devices within the parking facility is the responsibility of the property owner. All elements shown on the site plan are to be maintained on a regular schedule. All structures or plant materials that are damaged must be replaced to original standards within ninety (90) days. The Building Official or his designated representative shall regularly inspect parking lots required to meet these regulations. The official shall notify the property owner and/or manager upon finding deficiencies in structural or landscaped areas. (See also, subsection 4.12, Landscape Standards)	x	■	■	■	x	■	■	■	■	■	■	■
4.6.3.15 Vehicular and pedestrian cross access shall be provided to all adjacent properties.	x	x	x	x	■	■	■	■	x	x	■	x
4.6.3.16 Parking lots shall be setback 5' from property lines.	x	x	x	x	■	x	x	x	x	x	x	x
4.6.3.17 Parking spaces shall be delineated by white pavement striping unless otherwise required by ADA. Relective striping is encouraged.	x	x	x	x	■	■	■	■	x	x	■	x
4.6.3.18 Fire lanes shall be a minimum of 14 feet in width or as specified in the applicable fire code. Rear access to buildings shall comply with the adopted fire code.	x	x	x	x	■	■	■	■	x	x	■	x

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	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.6.3.19 Median Islands. Median islands with a minimum width of eight feet inside the curb shall be placed every other parking bay or no more than 150 feet apart and along primary internal and external access drives.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕
4.6.3.20 Loading docks, overhead doors, and truck parking shall be positioned, or screened in such a way as to not be visible from the public street.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕

4.7 Pedestrian Circulation

4.7.1 Circulation External to a Site.												
4.7.1.1 Where a sidewalk plan exists, sidewalks shall be provided along all public streets on the entire frontage of a development site and align with existing sidewalks on adjacent properties. Minimum sidewalk width is five feet. Additional width may be required as determined by Site and Design Review.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕
4.7.1.2 Sidewalks shall be ADA compliant. Handicapped access ramps shall be constructed at street corners.	✕	■	■	■	■	■	■	■	✕	✕	■	✕
4.7.1.3 Where a sidewalk improvement plan exists, sidewalks shall be constructed at least five feet behind the curb to allow for landscaping and street trees. For new or infill development, new sidewalks shall connect to the existing sidewalk.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.7.1.4 Sidewalks shall not be required to cross driveways as long as the driveway provides an ADA compliant connection between the sidewalk ends.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕
4.7.1.5 Sidewalks shall be concrete, or other approved surface. Asphalt sidewalks are prohibited.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕
4.7.1.6 Where sidewalk obstructions are unavoidable, a continuous four foot wide path around the obstruction shall be provided.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕

Table 4.1 Development Standards		DISTRICT													
STANDARD		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AO (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)		
■ = Required ✕ = Not required															
4.7.1.7	Crosswalks shall be provided to connect external pedestrian circulation to a site and safely convey pedestrians to the site destination.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕		
4.7.1.8	Crosswalks shall be striped in conformance with the latest edition of the Manual on uniform Traffic Control Devices.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕		
4.7.1.9	On site plans for commercial, industrial, and multi-family uses, show location of existing sidewalks, and provide a plan for pedestrian circulation.	✕	✕	■	■	✕	■	■	■	■	■	■	■		
4.7.1.10	In the event that a driveway is built on top of/or obliterates or damages a public sidewalk, then the driveway must consist of cement concrete in the area previously occupied by the sidewalk.	■	■	■	■	✕	■	■	■	■	■	■	■		
4.7.1.11	There shall be no plants or structures placed in or on any yard or portion of a lot that would obstruct the vision of auto or pedestrian traffic using the intersecting streets.	■	■	■	■	✕	■	■	■	■	■	■	■		
4.7.1.12	Lanscaping, including berms, shall not obstruct pedestrian and/or vehicular traffic visibility at street intersections or at access points to streets.	■	■	■	■	✕	■	■	■	■	■	■	■		
4.7.1.13	Signs, signals, and markings shall be in conformance with the Tennessee Manual on Uniform Traffic Central Devices. Where needed, size reduction of devices shall be approved, however, shape and color shall meet requirements of the manual.		■	■	■	✕	■	■	■	■	■	■	■		
4.7.2	Internal Site Circulation														
4.7.2.1	Internal pedestrian circulation shall be provided to create interconnected walkways safely conveying pedestrians from adjacent streets and parking areas to the site destination.	✕	✕	✕	✕	■	■	■	■	✕	✕	■	✕		

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	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>× = Not required</p>												
4.7.2.10 Signs, signals, and markings shall be in conformance with the Tennessee Manual on Uniform Traffic Central Devices. Where needed, size reduction of devices shall be approved, however, shape and color shall meet requirements of the manual.	■	■	■	■	×	■	■	■	■	■	■	■

4.8 Site Lighting and Building Illumination

4.8.1 Lighting and Illumination Generally.

4.8.1.1 Streets, driveways, parking lots, walks and service areas shall be adequately illuminated as evenly as possible, not exceeding an average of .3 foot-candles diminishing to zero at a site's boundary. Lighting intensity shall be demonstrated by means of a site lighting plan illustrating compliance.	×	×	×	×	■	×	×	×	×	×	×	×
4.8.1.2 Site lighting shall not extend beyond site boundaries. Luminaries shall be shielded, shaded, or directed to prevent light from being cast on adjacent property.	×	×	×	×	■	×	×	×	×	×	×	×
4.8.1.3 No exterior lighting fixture shall be placed or directed so as to interfere with the operation of vehicles.	×	×	×	×	■	×	×	×	×	×	×	×
4.8.1.4 No exterior light shall have any blinking, flashing, or fluttering light, or other illuminating device which has a changing light intensity or brightness of color.	×	×	×	×	■	×	×	×	×	×	×	×
4.8.1.5 Lighting fixtures shall be compatible in style with the architecture of their associated buildings.	×	×	×	×	■	×	×	×	×	×	×	×

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<p>■ = Required</p> <p>✕ = Not required</p>												
<p>Good Lighting:</p> <ul style="list-style-type: none"> Directs light down and to the sides as needed for light control. Reduces glare, provides even illumination. Does not trespass onto neighboring property. Helps preserve the dark night sky. Cost efficient. <p>Bad Lighting:</p> <ul style="list-style-type: none"> Contributes to the skyglow with upward direction of light, reducing the enjoyment of the night sky. Causes glare, light trespass, and harsh illumination. Wastes energy. 												
4.8.1.6 Any outside lighting of courts, parking lots, or other facilities shall be designed and constructed in such a manner as not to cause inconvenience to other uses in the immediate area.	✕	■	■	■	✕	✕	✕	✕	✕	✕	✕	✕
4.8.1.7 An exterior lighting plan shall be submitted on or with the site plan showing the location and type of all existing and proposed lighting fixtures, whether attached to a structure or freestanding. The number and intensity of exterior lights shall be restricted to a type and be of an intensity of light customarily found in residential settings. Examples of lighting not considered as residential in nature include standard wooden utility poles with mercury vapor fixtures of more than 100 watts (security lights as might be found in commercial or rural areas) and similar mercury vapor and high pressure sodium fixtures of more than 100 watts. All pole lights and lights attached to structures shall be of a design that directs light only downward to the site, or toward a structure on the site, and not toward adjoining properties, including a public street.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.8.2 Mounting and Luminaries												
4.8.2.1 Poles in commercial and multiple-family developments, whether mounted upon a building or independently, shall not exceed 20 feet in height.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.9 Building Form and Materials.												
4.9.1 Form.												
4.9.1.1 When adjoining a residential zone, structures shall be compatible with the character of single-family residential structures. Compatibility shall be determined by comparing the consistency of existing and proposed design elements, colors, materials, height, bulk and landscaping.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
<p>Diagram 4.4 (TC Only)</p>												
4.9.1.2 Building facades shall be oriented parallel to the streets they face. Main entrances shall be visible as a means of creating continuous streetscapes.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
<p>■ = Required x = Not required</p>												
4.9.1.3 Multiple buildings on a site should be clustered to create plaza or pedestrian mall areas. Where this cannot be achieved buildings shall be connected by means of pedestrian walkways defined by separate paving textures and accented by landscape areas.	x	x	x	x	■	x	x	x	x	x	x	x
4.9.1.4 False or stage-set facades are prohibited. Materials and colors used on the street façade shall continue to the sides and rear of the building where visible from a street right-of-way or adjacent residence.	x	x	x	x	■	x	x	x	x	x	x	x
4.9.1.5 The maximum, unbroken facade plane shall be 60 feet. The facade plane shall be interrupted by projections, recesses, portals, courtyards, plazas, or other appropriate architectural design. Facade plane breaks shall have a minimum depth of six inches.	x	x	x	x	■	x	x	x	x	x	x	x
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Inappropriate Facade - TC Only</p> </div> <div style="text-align: center;">  <p>Appropriate Facade - TC Only</p> </div> </div>												
4.9.1.6 No flat-faced cement block or metal surfaces shall be visible, from a major collector or arterial, upon the exterior of any building as a primary surface material or mansard.	x	x	x	x	■	x	x	x	x	x	x	x

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	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
 <p>(TC Only) Not Permitted</p>												
4.9.1.7	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.9.1.8	✕	✕	✕	✕	✕	✕	✕	✕	✕	✕	✕	✕
4.9.1.9	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.9.1.10	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕

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	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)

■ = Required
 x = Not required



4.9.2 Materials.

4.9.2.1	Building materials shall suit the architectural style of a building and be consistent or complementary throughout. Exterior surface materials shall be selected from among the following: brick, cementitious stucco, stone, vertical board and batten, wood or cementations siding and approved architectural concrete masonry unit. A maximum of 50% of exterior surface may be clad with Dryvit or EFIS.	x	x	x	x	■	x	x	x	x	x	x	x
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Appropriate Use of Materials - TC Only

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.9.2.2	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.9.2.3	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.9.2.4	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.9.3	Design Detail.											
4.9.3.1	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.9.3.2	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕

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<p>■ = Required × = Not required</p>														
4.10.1.6 The maximum height of fences and walls shall be four feet above grade when located in a front yard. Otherwise the maximum height of a fence is eight feet.	×	×	×	■	×	×	×	×	×	×	×	×		
4.10.1.7 In no case shall a chain link fence be installed as part of any buffer required for screening regardless of whether it is colored or includes privacy slats.	×	×	×	×	×	×	×	×	×	■	×	×		
4.10.1.8 Structures consisting of fences and walls shall be limited in height on properties used for non-residential purposes. The height of such structures placed within the required front yard or building setback shall be limited to a maximum of three and one-half (3 1/2) feet. Within the required rear and side yards or building setbacks, fences and walls shall be limited to a height of eight (8) feet.		■	■	■	×	■	■	■	■		■	■		
4.10.1.9 If a fence or wall is intended primarily for the security of a non-residential site or lot, the Code Enforcement Director may determine whether the fence or wall would provide such security, and thus allow construction to a height of twelve (12) feet.		■	■	■	×	■	■	■	■		■	■		
4.10.1.10 No fence or wall for a non-residential site or lot may be located closer than one foot from the nearest property line.		■	■	■	×	■	■	■	■		■	■		

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■ = Required x = Not required												
4.10.2 Walls.												
4.10.2.1		■	■	■	x	■	■	■	■	■	■	■
4.10.2.2		■	■	■	x	■	■	■	■	■	■	■
4.10.2.3		■	■	■	x	■	■	■	■	■	■	■
4.10.3 Outside Storage and Waste.												
4.10.3.1	x	x	x	x	■	x	x	x	x	x	x	x
4.10.3.2	x	x	x	x	■	x	x	x	x	x	x	x

Table 4.1 Development Standards												
STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (C-4)	IN (M-1)	HRO	TGL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.10.3.3 Outside storage areas and waste containers shall be located to the side or rear of principal structures, constructed with wash down facilities and connect to public sewer or approved alternative.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.10.3.4 Outside storage areas and waste containers shall be sited to avoid conflict with vehicular and pedestrian movement.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.11 Historic Compatibility (HRO only)												
4.11.1.1 Exterior modification shall in no way compromise the historic character of such structure nor the HRO district as a whole.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.2 New additions in the HRO District shall be designed and constructed of materials and methods to maintain the historic scale and character.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.3 New multi-family and non-residential structures shall maintain scale and character of residential structures in the HRO district.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.4 Existing "contributing structures" to the Thomas Addition Historic District provide examples of appropriate building design.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.5 Parking shall be permitted only in rear or side yards in the HRO District.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.6 Pre-engineered pervious block system or a porous pavement material are preferred for drives and parking in the HRO District, except that, driveways which lie closer than five (5) feet to a side or rear lot line lot shall be constructed in a manner acceptable to the City Engineer.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕

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<p>■ = Required</p> <p>✕ = Not required</p>												
4.11.1.7 In the HRO District, an exterior lighting plan shall be submitted on or with the site plan showing the location and type of all existing and proposed lighting fixtures, whether attached to a structure or freestanding.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.8 Lighting shall be restricted to a type and intensity of light typically present in residential settings. Lighting on standard wooden utility poles with mercury vapor fixtures of more than 100 watts (security lights as might be found in commercial or rural areas) and similar mercury vapor and high pressure sodium fixtures of more than 100 watts are inappropriate.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.9 All lighting shall be shielded to direct light downward or toward a site structure. No light shall be directed toward adjoining properties or public streets.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.10 In general, rolling cans shall be used for solid waste in the HRO District. Dumpster use may be considered but adequate area must be provided for service vehicles. Driveway areas for solid waste service vehicles must be constructed to the City's heavy-duty pavement standard.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.11 When non-residential uses abut, a buffer shall be installed at least 3 feet in height. Buffer details including type, container size, or caliper of landscape materials, and/or fencing materials shall be illustrated. Chain link fencing is prohibited. Landscape materials shall be installed along existing chainlink fencing to provide a visual buffer. (See also, subsection 4.12, Landscape Standards)	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕

Table 4.1 Development Standards												
STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (G-2)	IC (C-3)	AG (G-4)	IN (M-1)	HRO	TGL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
4.11.1.12 When nonresidential uses abut or are adjacent to a residential use, such buffer shall be 6 feet in height but may be reduced to 3 feet if the abutting residential property owner agrees. (See also, subsection 4.12, Landscape Standards)	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.11.1.13 As part of a site plan submittal, the general nature of proposed exterior modifications and an elevation rendering of any facade visible from the street shall be provided.	✕	✕	✕	✕	✕	✕	✕	✕	✕	■	✕	✕
4.12 Landscape Standards*												
*Definitions of Berm, Caliper, Ground Cover, Hardscape, Landscape Area, Landscape Island, Landscaping, Maintain, Maintenance, and Tree are included in Chapter 9.0)												
4.12.1 Purpose												
The purpose of these regulations is to:												
4.12.1.1 Promote reasonable preservation and replenishment in new developments, redevelopments, or expansions, of commercial, industrial, multi-family residential, and other non-residential uses in the City.		■	■	■	✕	■	■	■	■	■	■	■
4.12.1.2 Safeguard and enhance property value		■	■	■	✕	■	■	■	■	■	■	■
4.12.1.3 Provide reasonable regulations that are easily understood by all parties		■	■	■	✕	■	■	■	■	■	■	■
4.12.1.4 Provide a standard guide for plant selection, installation, and placement		■	■	■	✕	■	■	■	■	■	■	■
4.12.1.5 Promote awareness of the benefits of effective landscaping among City departments, utility providers, development organizations, individual businesses, and property owners.		■	■	■	✕	■	■	■	■	■	■	■
4.12.2 General Standards.												
4.12.2.1 Required landscaping shall not include artificial plants, trees, or other artificial vegetation.		■	■	■	✕	■	■	■	■	■	■	■

Table 4.1 Development Standards		DISTRICT													
STANDARD		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (G-2)	IG (G-3)	AG (G-4)	IN (M-1)	HRO	TGL (G-5)	VA (V-1)		
<p>■ = Required x = Not required</p>															
4.12.4.2	Existing native habitat or vegetation located within planting areas that are preserved and meeting the requirements of this section may be counted toward the requirements of this Section.	x	x	x	x	■	x	x	x	x	x	x	x		
4.12.4.3	Credit may also be granted for existing plant material, fences and walls on abutting property that meet the landscape requirements.	x	x	x	x	■	x	x	x	x	x	x	x		
4.12.5 Relationship to Previously Approved Site Plans															
4.12.5.1	No site plan approved by the Planning Commission prior to the effective date of this section shall be required to conform to the landscaping requirements of this section unless the site plan is being resubmitted to the Planning Commission and there is a thirty percent (30%) or more increase in the square footage of building area or parking lot.	x	■	■	■	x	■	■	■	■	■	■	■		
4.12.6 Landscaping Along Street Right-of-Way for Commercial, Industrial, Multi-family Residential, and other Non-residential Uses.															
4.12.6.1	A landscaped edge on private property shall be provided adjacent to all streets and entrances. The landscaped edge shall be a minimum width of seven feet, exclusive of street right-of-way. Within the landscaped edge, one tree (2" caliper minimum) shall be planted per 25 linear feet of landscaped edge. The number of required trees shall be calculated solely on the linear frontage of the required landscaped edge and shall be rounded to the nearest whole number. Trees may be grouped together or evenly spaced.	x	■	■	■	x	■	■	■	■	x	■	■		

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<p>■ = Required x = Not required</p>												
4.12.6.2 Where parking lots and drives abut the landscaped edge, ten shrubs (2 gallon minimum) shall be planted per 40 linear feet of abutment to the landscaped edge. These shrubs are in addition to the required number of trees. The number of required shrubs shall be calculated solely on the linear frontage of parking lot/drive abutment to the required landscaped edge and shall be rounded to the nearest whole number. A berm or masonry wall may be placed within the landscaped edge in lieu of the required shrubs. The berm or masonry wall must be at least 30 inches above the top of the parking lot adjacent to the closest street.	x	■	■	■	x	■	■	■	■	x	■	■
4.12.6.3 Within the landscaped edge, one tree (3" caliper minimum) shall be planted per 30 lineal feet of landscaped edge. The number of required trees shall be calculated solely on the linear frontage of the required landscaped edge and shall be rounded to the nearest whole number. Trees may be grouped together or evenly spaced.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.6.4 The Planning Commission may reduce the width of the required landscaped edge during site plan review when the reduction is required for public improvements.	x	■	■	■	x	■	■	■	■	x	■	■
4.12.7 Perimeter Landscaping for Commercial, Industrial, Multi-family Residential, and other Non-residential Uses.												
4.12.7.1 A landscaped strip of five (5) feet shall be required along property boundaries which do not abut a public street right-of-way.	x	■	■	■	x	■	■	■	■	x	■	■

Table 4.1 Development Standards

STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TGL (G-5)	VA (V-1)
<p>■ = Required * = Not required</p>												
<p>4.12.7.2 Off-street parking areas shall be provided with a visual buffer from contiguous properties, including public streets where parking lots are visible from a public street. Buffers may be composed of evergreen landscape materials, a combination of evergreen and deciduous landscape materials, fencing, berms, or a combination of such materials, so that a year round screen which is at least eighty (80) percent opaque is achieved. Where a parking area abuts or is directly across the street from an existing single family, two-family, or multi-family use, such buffer shall be at least six (6) feet in height from the finished grade of the parking area; except that, such buffer may be reduced in height to a height no lower then three (3) feet upon written request of the adjoining property owner presented at the time the site plan is submitted for review by the HRO Committee. Whenever a nonresidential use is proposed which adjoins another nonresidential use, a buffer of the nature described above shall be installed and may be less than six (6) feet in height, but no less than three (3) feet in height.</p>	*	*	*	*	*	*	*	*	■	*	*	
<p>4.12.7.3 A perimeter landscaped edge shall be provided along all yards that are adjacent to all streets and entrances. The landscaped edge shall be a minimum width of 5 feet, exclusive of street right-of-way. In addition, for each non-residential parcel that is adjacent to a residential parcel the minimum width shall be a 10 feet.</p>	*	*	*	*	■	*	*	*	*	*	*	*

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<p>■ = Required</p> <p>✕ = Not required</p>												
4.12.7.4 Within the landscaped edge, one tree (3" caliper minimum) shall be planted per 30 lineal feet of landscaped edge. The number of required trees shall be calculated solely on the linear frontage of the required landscaped edge and shall be rounded to the nearest whole number. Trees may be grouped together or evenly spaced.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕
4.12.8 Interior Landscaping for Commercial, Industrial, Multi-family Residential, and other Non-residential Uses.												
4.12.8.1 Five (5) percent of the interior of the parking area shall be landscaped and one (1) tree for each three hundred (300) square feet of landscaped area.		■	■	■	✕	■	■	■	■	✕	■	■
4.12.8.2 All fixed objects within parking lots (utility poles, signs, fire hydrants, etc.) shall be located within islands to which access by vehicles is physically limited. These islands shall be appropriately landscaped with grass, shrubs or other appropriate plant material which shall not exceed 30 inches in height above the adjacent paved surface.		■	■	■	✕	■	■	■	■	✕	■	■
4.12.8.3 Parking aisles and interior dividers shall be terminated with terminal islands not less than five (5) feet in width constructed with raised curbs and they shall be landscaped with appropriate cover.		■	■	■	✕	■	■	■	■	✕	■	■

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<p>■ = Required x = Not required</p>												
4.12.8.9 Required parking lot islands shall contain a minimum of one large, shade or canopy tree per island. The end of every parking aisle shall have a landscaped island and 15 parking spaces is the maximum number that can occur before a landscaped island is proposed. (See Standard 4.1.3 for island requirement).	x	x	x	x	■	x	x	x	x	x	x	x
4.12.8.10 Landscaped areas shall be at least 75 percent covered with grass or other surface approved by the Director or their designee. Planting shall be established prior to building occupancy.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.8.11 Median islands shall have one canopy tree for every 30 linear feet at a maximum of 40 feet apart.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.9 Alternative: Low Impact Design												
4.12.9.1 Requirements of the parking lot landscaping may be altered if professionally designed stormwater conveyance planters are proposed at the discretion of the Site Review Committee.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.9.2 Canopy trees tolerant of wet conditions shall be planted at a maximum of 40 feet on-center.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.9.3 Seventy-five (75%) percent of the total planter area must be covered with appropriate vegetation consistent with modern practices of stormwater planter design.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.9.4 Permanent sculptures or other public art or vertical architectural structures that are non-intrusive but interrupt the horizontal sight lines of a parking lot, may be credited for no more than 20 percent of the total landscape requirements based upon the discretion of the Site Review Committee.	x	x	x	x	■	x	x	x	x	x	x	x
4.12.9.5 Art which is viewable from public right-of-ways that meet the requirements of the public art process.	x	x	x	x	■	x	x	x	x	x	x	x

Table 4.1 Development Standards		DISTRICT													
STANDARD		AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (G-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)		
	<p>■ = Required</p> <p>✕ = Not required</p>														
4.12.9.6	A fountain, pool, or waterfall that is created either on the exterior or interior of location which creates an ambiance and decor of the establishment.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕		
4.12.9.7	Parking areas with less than 20 parking spaces must provide a minimum landscape area totaling 15 percent of the total parking area and shall be landscaped with shrubs at a minimum ratio of one per every 15 square feet of landscaped area. In addition, one (1) canopy tree shall be planted for every 5 parking spaces but with a minimum of 2 trees planted.	✕	✕	✕	✕	■	✕	✕	✕	✕	✕	✕	✕		

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)
<p>■ = Required</p> <p>✘ = Not required</p>												
4.12.10 Landscape and Open Space in Planned Unit Developments												
4.12.10.1 For the mitigation of noise and heat, improvement of visual character and a generally more pleasing environment, landscaping shall be required for each PUD. All residential PUD's shall have landscaping on the outer perimeter of the development consisting of an average of one tree (two inch caliper) per twenty-five (25) feet of frontage upon a street or road, and shrubbery amounting to five plants per twenty (20) feet of paved width for any street, road, or driveway accessing the exterior portion of the development. In addition to the foregoing, multi-family PUD's shall satisfy the regulations in Section 8.4 pertaining to parking areas. Commercial PUD's shall adhere to the landscaping requirements of this and other applicable provisions of this ordinance. The Planning Commission also may require buffering and screening with trees, where the exterior property line of any proposed PUD abuts an existing residential development or existing commercial or industrial use or zoning district.		■	■	■		■	■	■	■	■	■	■
4.12.10.2 Commercial and industrial PUD open space shall be landscaped and shown on the PUD Plan and as provided for by this and other applicable sections of this ordinance.		■	■	■		■	■	■	■	■	■	■

Table 4.1 Development Standards												
STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AG (G-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required</p> <p>✕ = Not required</p>												
<p>4.12.10.3 Residential PUDs shall have on site usable recreation area and/or open space. Such areas shall be set aside for open space or recreation purposes only. These are intended to serve the residents of the PUD, and should therefore be easily accessible to them. If the PUD contains individually owned units, then such open space shall be maintained in common ownership established in the appropriate legal manner, as provided for in 4.12.10.4.</p>	✕	✕	■	■	✕	■	■	✕	✕	✕	■	
<p>4.12.10.4 In PUDs, open space, including stormwater and transportation infrastructure, and recreational facilities, shall be established in the appropriate legal manner in one of the following methods: by the developer or management authority of the PUD; by a Homeowner's/Property Owner's Association established by deed restrictions; and/or by the public if dedication of such open space is approved by the Planning Commission.</p>		■	■	■	✕	■	■	■	■	■	■	

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<p>■ = Required x = Not required</p>	
<p>4.12.10.5 In the VA District, a minimum of 20% of every visitor accommodation development shall be devoted to open space and planted with vegetation. Such open space may be used to also satisfy landscape requirements as set forth in this and other applicable provisions of this ordinance, and may provide areas for recreational uses utilizing landscaped surfaces (trails, playing fields, etc.). Where a recreational vehicle park or recreational vehicle parking area abuts a public street which also abuts a district zoned primarily for residential use (LDR, MDR, HDR), the landscape buffer shall be designed of plant materials, fencing, and/or berming so that a screen of at least six (6) feet in height that is at least eighty (80) percent opaque at any time during the year.</p>	<p>x x x x x x x x x x x ■</p>

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
■ = Required * = Not required												
4.12.11 Tree Preservation and Replacement												
4.12.11.1 In the HRO District, no residential or nonresidential structure shall be demolished nor any site clearing or grading occur without first obtaining a demolition permit from the Code Enforcement Director and/or a land disturbance permit (clearing and/or grading permit) from the Development Department. If the demolition or land disturbance is for the purpose of preparing a site for construction of a multi-family or nonresidential use, then a plan showing the location of all trees having a caliper of two (2) inches or more at six (6) inches above existing grade shall be submitted with the application for a demolition or land disturbance permit. No trees of such description shall be removed during demolition or clearing and/or grading unless a tree replacement plan meeting the requirements of 4.12.11.2 has been submitted to the Development Department for presentation to the Planning Commission.	*	*	*	*	*	*	*	*	*	■	*	*

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STANDARD	DISTRICT											
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	LD (C-3)	AD (C-4)	IN (M-1)	HRO	TCL (G-5)	VA (V-1)
<p>■ = Required x = Not required</p>												
<p>4.12.11.2 In the HRO District, the HRO Committee may approve the removal of trees as part of the review of a site plan when it is determined not feasible to retain a tree and meet the requirements of this and other sections of this ordinance related to parking, access, and other required site improvements. The location of any tree proposed for removal which has a caliper of two (2) inches or more at six (6) inches above existing grade shall be shown on the site plan. Whenever a tree of a caliper of two (2) inches or more at six (6) inches above existing grade is approved for removal, one (1) tree of at least two (2) inches in caliper at six (6) inches above finished grade shall be installed on some portion of the site for each such tree being removed. The location of replacement trees shall be shown on the site plan. Where installation of replacement trees on site is not feasible due to location of sidewalks and other paved areas, overhead and underground utilities, and the like, the applicant shall be permitted to install shrubs at a ratio of at least three (3) shrubs for each tree removed. The location, type, and size of such shrubs shall be indicated on the site plan and shall be required in addition to any shrubs installed as part of the parking lot buffer required by other provisions of this ordinance.</p>	x	x	x	x	x	x	x	x	■	x	x	

Table 4.1 Development Standards											
STANDARD	DISTRICT										
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (G-5)
■ = Required x = Not required											
4.12.12 Care During Construction											
4.12.12.1	All existing trees and shrubs to remain on the site as required landscaping shall be protected from vehicular movement and material storage over their root spaces.										
4.12.12.2	Trees designated for protection must be completely enclosed by a fence. Fencing must be in place prior to any clearing or site work. Fencing must remain in place until all construction has been completed.										
4.12.13 Maintenance After Construction for Projects Requiring Site Plan or PUD Plan											
4.12.13.1	All plant material which dies within one year after planting shall be replaced with plant material of the required size within thirty days of the plant material's death. This period may be extended if weather conditions inhibit installation of new plant materials.										
4.12.13.2	All landscaping shall be permanently maintained.										
4.12.13.3	All plant materials shall be maintained in an attractive and healthy condition by watering, mulching, fertilizing, pest management, mowing, weeding, removal of litter and dead plant material, and pruning as necessary.										
4.12.13.4	Dead or diseased plant materials shall be removed. Replacement plant materials shall be provided for any required trees or shrubs that die or are removed for any reason.										

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TABLE 6.1 PERMITTED SIGNS BY ZONING DISTRICT

Sign Types	Zone													
	AR (A-R)	LDR (R-1)	MDR (R-2)	HDR (R-3)	TC	NC (C-2)	IC (C-3)	AC (C-4)	IN (M-1)	HRO	TCL (C-5)	VA (V-1)	IIO (II-1)	
On Premises Signs - Attached														
Wall	■	■	■	■	■	■	■	■	■	■	■	■	■	
Wall, Digital											□			
Window	■	■	■	■	■	■	■	■	■	■	■	■	■	
Canopy					■	■	■	■	■	■	■			
Structural Canopy							■	■			■			
Projecting					■	■	■	■	■		■	■		
On Premises Signs - Detached														
Monopole													■	
Pole	■					■	■	■	■	■	■		■	
Monument	■		■	■		■	■	■	■	■	■	■	■	
Detached Wall							■	■	■		■	■		
Public Directory					■		■	■			■			
Private Directory								■	■		■	■		
Destination Arrival											■			
Directional	■						■	■	■		■	■		
Menu Board							■	■			■			
Entrance/Exit							■	■	■		■			
On Premises - Temporary														
A-Frame	■				■	■	■	■	■		■			
Promotional Signage						■	■	■	■		■			
Window					■	■	■	■	■		■			
Off Premises - Permanent														
Off-Premise Directional Sign (Non-commercial)	■	■	■	■	■	■	■	■	■	■	■	■	■	
Subdivision		■	■	■		■	■				■			
Billboard														
Billboard, Digital														
Off Premises - Temporary														
Campaign	■	■	■	■	■	■	■	■	■	■	■	■	■	
Auction	■	■	■	■	■	■	■	■	■	■	■	■	■	

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